



Mt. Prospect Park District

**MT. PROSPECT PARK DISTRICT
1000 W. CENTRAL ROAD
MOUNT PROSPECT, ILLINOIS 60056**

MT. PROSPECT BOARD OF PARK COMMISSIONERS

**REGULAR MEETING SCHEDULE
2018**

The Regular Board Meetings will be held at Central Community Center, 1000 W. Central Road, Mount Prospect, Illinois at 7:00p.m.

JANUARY 17, 2018

JULY 25, 2018

FEBRUARY 14, 2018

AUGUST 22, 2018

MARCH 21, 2018

SEPTEMBER 26, 2018

APRIL 25, 2018

OCTOBER 24, 2018

MAY 23, 2018

NOVEMBER 14, 2018

JUNE 27, 2018

DECEMBER 19, 2018

Approved: 12/20/17

TABLE OF CONTENTS

REGULAR BOARD MEETING

April 25, 2018

AGENDA

I. APPROVAL OF MINUTES

II. RATIFICATION OF

INTERGOVERNMENTAL AGREEMENT

III. ADOPTION ITEMS

IV. NEW BUSINESS

V. FINANCIAL REPORTS

VI. RATIFICATION OF ACCOUNTS

VII. EXECUTIVE REPORT



1000 W. CENTRAL ROAD
MOUNT PROSPECT, ILLINOIS 60056

MEMO TO: MT. PROSPECT PARK DISTRICT
BOARD OF COMMISSIONERS
PRESS
PUBLIC

FROM: STEVE KURKA, PRESIDENT

DATE: APRIL 20, 2018

RE: REGULAR PARK BOARD MEETING
APRIL 25, 2018 - 7:00 P.M.
CENTRAL COMMUNITY CENTER
1000 W. CENTRAL, MOUNT PROSPECT, IL

AGENDA

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

CHANGES OR ADDITIONS TO AGENDA

APPROVAL OF AGENDA

APPROVAL OF MINUTES: REGULAR BOARD MEETING: MARCH 21, 2018

PUBLIC COMMENT

RATIFICATION OF INTERGOVERNMENTAL AGREEMENT FOR SETTLEMENT OF THE PROSPECT & MAIN TAX INCREMENTAL FINANCING DISTRICT

ADOPTION ITEMS:

- A. Adoption of Resolution 757: A Resolution to Authorize the Treasurer of the Mt. Prospect Park District to transfer funds from the Corporate Fund to the IMRF Fund

NEW BUSINESS

- A. Central Community Center Improvements

FINANCIAL ADVISOR'S REPORT



1000 W. CENTRAL ROAD
MOUNT PROSPECT, ILLINOIS 60056
REGULAR BOARD MEETING

RATIFICATION OF ACCOUNTS PAYABLE: MARCH 2018

EXECUTIVE REPORT

PUBLIC COMMENT

COMMENTS/MATTERS FROM COMMISSIONERS

CLOSED SESSION

SECTION 2(c)(6) - to discuss the setting of a price for sale or lease of property owned by the public body.

TAKE ACTION, IF ANY ON MATTERS DISCUSSED IN CLOSED SESSION

Approval of Minutes, Reviewed in Closed Session

Approval for Release of Closed Session Minutes, If any

ADJOURNMENT

Unapproved

Regular Board Meeting

A Regular Meeting of the Mt. Prospect Park District, Cook County, Illinois, was held on Wednesday, March 21, 2018 at Central Community Center Facility of said Park District. President Kurka called the meeting to order at 7:00 p.m. On roll call, the following officers and commissioners were present:

Steve Kurka
Bill Klicka
Tim Doherty
Ray Massie
Mike Murphy

Administrative Staff:

Dan Malartsik, Executive Director
Brett Barcel, Director of Golf Operations
Brian Taylor, Director of Recreation
George Giese, Superintendent of Business & IT Services
Jim Jarog, Director of Parks & Planning
Ruth Yueil, Director of Community Relations and Marketing
Teri Wirkus, Executive Professional Compliance Manager

Professionals:

Lee Howard, GAI
Brad O'Sullivan, GAI

Staff:

Bob Smith, Building Department Manager

Visitors:

None

CHANGES OR ADDITIONS TO AGENDA

None

APPROVAL OF AGENDA

Commissioner Klicka motioned to approve the agenda seconded by Commissioner Murphy and was carried by unanimous voice approval.

Public Comment

None

APPROVAL OF MINUTES

Commissioner Massie motioned to approve the minutes from the Regular Board Meeting on February 14, 2018; seconded by Commissioner Murphy.

<u>Roll Call Vote</u>	Ayes	Nays	Absent
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

PUBLIC HEARING

- A. Ordinance No. 755: Combined Annual Budget & Appropriation Ordinance-2018 an Ordinance Making a Combined Annual Budget and Appropriation Of Funds For Mt. Prospect Park District, Cook County Illinois, for The Fiscal Year Beginning On The First Day Of January 2018, And Ending On The 31st Day Of December, 2018.

President Kurka announced: The next agenda item is a Public Hearing to receive comments on the 2018 Budget & Appropriation Ordinance. The proposed ordinance has been on display at the Mount Prospect and Des Plaines Libraries, Mount Prospect Human Service Department and at the Mt. Prospect Park District Administrative Office since January, 2018, and has been discussed at all meetings since November, 2017. All persons desiring to be heard will have an opportunity to present written or oral testimony with respect thereto.

President Kurka asked for written or oral comments from the Commissioners. None.
President Kurka asked for written or oral comments from the public. None.
President Kurka asked for additional comments from the public. None.
President Kurka asked for a motion to finally adjourn the Public Hearing.

Motion

Commissioner Doherty motioned to finally adjourn the Public Hearing on March 21, 2018; seconded by Commissioner Murphy.

<u>Roll Call Vote</u>	Ayes	Nays	Absent
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

President Kurka declares the hearing finally adjourned.

Public Comment

None

FOUNDATION REPORT

Director Yueill reviewed the Foundation Board Meeting that took place on March 7, 2018:

- Pre-Plant Sale Fundraiser which will take place on May 10th from 6 p.m. to 8 p.m. at Friendship Park Conservative is coming along nicely. \$30 per person and the money goes to the scholarship program.
- New Park District website will have a “Donate Now” button on the Foundation Page.
- The dates to pick up the applications for the Annual Scholarship Program will available from April 30th to June 18. The Awards will be presented at the band shell on Monday July 23.
- Park Foundation Board Members pledged \$3,000 to the current Veterans project which will commemorate Mount Prospect Service men and women killed in action.
- Tree campaign continues- yard signs placed in neighborhood parks beginning in June indicating a tree (s) in this park were planted through funds raised by the Parks Foundation.

ADOPTION ITEMS

- A. Ordinance No. 755: Combined Annual Budget & Appropriation Ordinance-2018 an Ordinance Making a Combined Annual Budget and Appropriation Of Funds For Mt. Prospect Park District, Cook County Illinois, for The Fiscal Year Beginning On The First Day Of January 2018, And Ending On The 31st Day Of December, 2018.

MOTION

Commissioner Massie moved to adopt Ordinance 755- Combined Annual Budget & Appropriation Ordinance-2018 of funds for Mt. Prospect Park District, Cook County Illinois, for The Fiscal Year Beginning on the First Day of January 2018, And Ending On the 31st Day Of December, 2018; seconded by Commissioner Murphy

Commissioner Murphy read into the motion- Corporate Fund \$2,668,952; Recreation Fund \$8,487,734; Paving and Lighting Fund \$92,839; Federal Social Security Insurance Fund \$564,265; Liability Insurance Fund \$737,292; Handicapped Recreation Fund \$1,520,824; Illinois Municipal Retirement Fund \$880,000; District Capital Labor \$385,789; Bonds & Interest Fund \$5,351,649; Conservatory Fund \$897,948 and the total appropriation \$21,587,290

<u>Roll Call Vote</u>	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

- A. Ordinance No. 756: An Ordinance Declaring As Surplus and Authorizing The Sale, Conveyance, Trade-In Or Disposal Of Surplus Personal Property Of The Mt. Prospect Park District, Cook County, Illinois

Director Jarog and Bob Smith, Building Department Manager identified the items on the list and determined that these items are no longer useful to the District; budget impact from the sale of these items will be re-captured within the district’s capital improvement fund for possible re-allocation towards the future needs of the district.

MOTION

Commissioner Massie moved to adopt Ordinance #756 Pursuant to Section 8-22 of the Park District Code (70 ILCS 1205/8-22), the Board of Park Commissioners of the Mt. Prospect Park District has reviewed staff’s report finding that the Property of no longer necessary, useful to or for the best interests of the Park District and recommending to sell or otherwise convey in any of the following manners: trade-in, sale, or otherwise convey, or dispose, in such manner(s) and at such process as the Executive Director shall in his sole discretion determine; seconded by Commissioner Murphy

<u>Roll Call Vote</u>	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X

Commissioner Tenuta X
Commissioner Massie X
Commissioner Murphy X
Motion passed.

APPROVAL ITEMS

A. Approval of Concession Agreement at Mt. Prospect Golf Course
Director Barcel explained that Open Kitchens L.L.C. is an experienced and qualified vendor that has provided professional services to the Mount Prospect Golf Club for over 20 years and have been highly rated with the golfers in fold quality and have exhibited an exemplary record in both food inspections and liquor license controls over the past 20 years.

MOTION

Commissioner Doherty moved to approve entering into a one year lease agreement with Open Kitchens L.L.C. for food service operations at the Mt. Prospect Golf Club for the period of 4/1/2018 to 3/31/2019 in the total lease amount of \$45,000.00 payable to the Park District; seconded by Commissioner Massie.

<u>Roll Call Vote</u>	Ayes	Nays	Absent
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

B. Approval/Authorization to Sell Liquor at Special Events 2018
Superintendent Giese reviewed the dates:

Thursday-Sunday June 21-24, 2018	EVENT: Softball Tournament – ASA 17th Annual Chicago Championships
<i>DATE/TIME:</i>	June 21, 2018 5:00 PM - 11:59 PM
	June 22, 2018 5:00 PM - 11:59 PM
	June 23, 2018 11:00 AM - 11:59 PM
	June 24, 2018 12:00 PM - 11:59 PM

Friday-Sunday August 10-12, 2018	EVENT: Softball Tournament – House League Tournament
<i>DATE/TIME:</i>	August 10, 2018 5:00 PM - 11:59 PM
	August 11, 2018 11:00 AM - 11:59 PM
(Rain Date)	August 12, 2018 12:00 PM - 11:59 PM

Thursday-Monday **EVENT: Softball Tournament – ASA Major National Championships**
August 30-September 3, 2018

DATE/TIME:	August 30, 2018	5:00 PM - 11:59 PM
	August 31, 2018	5:00 PM - 11:59 PM
	September 1, 2018	11:00 AM - 11:59 PM
	September 2, 2018	12:00 PM - 11:59 PM
(Rain Date)	September 3, 2018	11:00 AM - 11:59 PM

Saturday-Sunday **EVENT: Softball Tournament – United Airlines Co-Ed Tournament**
September 8-9, 2018

DATE/TIME:	September 8, 2018	11:00 AM - 11:59 PM
(Rain Date)	September 9, 2018	12:00 PM - 11:59 PM

Saturday-Sunday **EVENT: Soccer Tournament – Green White Soccer Adult Tournament**
September 15-16, 2018 **Green White Soccer Club is responsible for securing liquor licenses*

DATE/TIME:	September 15, 2018	11:00 AM - 11:59 PM
	September 16, 2018	12:00 PM - 11:59 PM

MOTION

Commissioner Murphy moved to authorize the sale of alcoholic beverages by Mt. Prospect Park District staff over the age of 21 at 5 softball tournaments and 1 soccer tournament scheduled to be held on various weekend dates during May, June, August and September, 2018, as more particularly set forth in the Board packet for this meeting; seconded by Commissioner Massie.

Roll Call Vote	Ayes	Nays	Absent
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

C. Approval/Authorization to Serve Liquor at Special Events 2018

Superintendent Giese reviewed that in order to comply with the requirements of the State Liquor License and the Park District Code, the Board is required to authorize the serving of alcoholic beverages at special events.

MOTION

Commissioner Massie moved to authorize serving alcoholic beverages at the Chamber of Commerce Golf Outing scheduled for September 27,2018 provided that the chamber meets the 4 standard requirements, as more particularly set forth in the Board packet for this meeting; seconded by Commissioner Klicka.

<u>Roll Call Vote</u>	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

D. Approval of Central Community Center HVAC Bid

Director Jarog and Bob Smith, Building Department Manager reviewed the background of the existing HVAC rooftop units (RTU) at the Central Community Center are almost 20 years old. The units at CCC have been experiencing frequent and more severe breakdowns over the past several years. Staff identified the three units in greatest need of replacement. The YMI Group, Inc. was the lowest responsible bidder at a total cost of \$87,600, which includes that addition of both alternates 1 and 2.

MOTION

Commissioner Murphy moved to approve the bid received from the YMI Group, Inc. for all work associated with the base bid plus alternates 1 and 2 for the replacement of three HVAC rooftop units at the Central Community Center with high efficiency replacement units and the associated ductwork in the amount of \$87,600.

<u>Roll Call Vote</u>	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

UNFINISHED BUSINESS

A. Strategic Plan- Agency, Mission, Vision, Values- update

Director Taylor explained the Leadership Team developed the District's Mission Statement, Vision Statement and Core Values. Over the last month, the leadership team met several times and decided on the following Strategic Themes based on the input received throughout the process:

- Customer Connection
 1. Manage First & Last Impressions
 2. Personalize Customer Experience
 3. Provide Exceptional Parks & Facilities
 4. Diversify Program Opportunities
- Financial Stewardship
 1. Maximize Non-Tax Revenue Opportunities
 2. Create Financial Best Practices
 3. Align Resources with Community Need
 4. Long-Term Capital Vision
- Internal Efficiency, Innovation & Technology
 1. Maximize Internal & External Communications
 2. Standardize Districtwide Processes
 3. Leverage Technology
 4. Inspire a Culture of Innovation
- Organizational & Professional Development
 1. Professional Growth & Development
 2. Positive Work Environment
 3. Organizational Accountability
 4. Employer of Choice

These four themes provide the foundation for the development of the goals and objectives. The Strategic Plan Committee created and developed 4 goals under each Strategic theme. Next steps include development of four to seven objectives per goal. Objectives explain how goals will be accomplished. These objectives will then be subcategorized in short, mid-range and long term objectives.

Executive Director Malartsik explained how nice it was to see the full time staff at the Managers meeting come together to work on the objectives for over four hours for the Strategic Plan. There were many ideas, discussion and enthusiasm while working on the objectives for the goals.

Financial Advisor's Report

Lee Howard, GAI, reviewed the year to date departmental expenditures analysis, revenue trends and profitability of the District's key revenue facilities.

RATIFICATION OF ACCOUNTS PAYABLE

Commissioner Klicka motioned to ratify February 2018 Accounts Payable checks and EFT's in the amount of \$553,064.19 as listed on the Check Registers; seconded by Commissioner Murphy.

Discussion: None

<u>Roll Call Vote</u>	Ayes	Nays	Absent
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

RATIFICATION OF PAYROLL

Commissioner Klicka motioned to ratify February Payroll checks and Direct Deposits in the amount of \$326,220.18 as listed in this report; seconded by Commissioner Murphy.

Discussion: None

<u>Roll Call Vote</u>	Ayes	Nays	Absent
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

Executive Report

Executive Director Dan Malartsik reviewed the following highlights:

- Grant Money Awarded: The Edward and Wanda Jordan & Mt. Prospect Parks Foundation have officially pledged \$40,000 each totaling \$80,000 for a new sign at the Friendship Park Conservatory.
- Central Community Center Construction Update: The District retained Wight & Company as architect and engineer for the NWSRA program improvements to Central Community Center.

All improvements are paid as part of a \$263,000 grant NWSRA received and allocated to the Park District. NWSRA will have exclusive usage to the improved are and will pay the district annual rent.

- Security Assessment: The District staff retained Facility Engineering Associates (FEA) as a pro-active step to conduct security assessments at Central Community Center, RecPlex, and Lions Recreation Center. FEA will deliver an emergency action plan that includes current federal and state best practices.
- Upcoming meeting and event reminders: Regular meeting- April 25, 2018; Easter Egg hunt at RP on March 24th; Cook County Statement of Economics Interest are in your emails; There hasn't been any vandalism recently but have had vandalism at Meadows with tire tracks; Demolition at 411 Algonquin Road will be next week.

Public Comment

None

MATTERS FROM COMMISSIONERS

Commissioner Murphy asked what the ratios of out of district residents and in district residents have signed up for golf passes with partner rounds. Director Barcel explained there are very few partner rounds; asked if the district is renting space for baseball due to the awful weather and Director Taylor stated we do have baseball teams renting space.

Commissioner Doherty asked the district to mention the two foundations that have sponsored the new sign at Friendship Park if possible on the sign itself; requested to have expenditures on certain pages for a complete analysis when talking about a specific revenues (i.e. Big Surf pool); thought the youth basketball program was awesome; liked the idea of having a IT committee.

ADJOURNMENT TO CLOSED SESSION

Commissioner Doherty moved to adjourn to closed session for Section 2(c)(6)- to discuss the setting of a price for sale or lease of property owned by the public body; seconded by Commissioner Murphy.

Roll Call Vote

	Ayes	Nays	Absent
Commissioner Kurka	X		
Commissioner Doherty	X		
Commissioner Klicka	X		
Commissioner Starr			X
Commissioner Tenuta			X
Commissioner Massie	X		
Commissioner Murphy	X		

Motion passed.

RECONVENED FROM CLOSED SESSION

The Regular Meeting reconvened at 9:15 p.m.

TAKE ACTION, IF ANY ON MATTERS DISCUSSED IN CLOSED SESSION

None

ADJOURNMENT

Commissioner Klicka moved to adjourn the Regular Board Meeting at 9:15 p.m.; seconded by Commissioner Murphy and carried by unanimous voice vote.

Respectfully submitted,

William J. Starr



MEMORANDUM

To: Board of Park Commissioners

From: Dan Malartsik, Executive Director

Date: April 25, 2018

Re: Ratification of Intergovernmental Agreement for Settlement of the TIF District

SUMMARY & BACKGROUND:

The draft settlement agreement for the School District 214 and the Village of Mount Prospect TIF litigation has been circulated and approved by all parties in principle. The Mt. Prospect Park District is a party to the litigation on the side of the Village.

The essence of the agreement is that the Village will begin declaring 100% of the EAV of properties that were previously in a TIF District as surplus beginning with the execution of the agreement, with the exception of the key parcels needed for success of the goals of the TIF. The Village will retain all increment generated by these key parcels. All other properties in the new TIF are also unaffected. In return, the School District will dismiss the pending litigation challenging the TIF with prejudice.

The High School District 214 Board formally approved the agreement and its regular meeting on April 12, 2018. The Village of Mount Prospect formally approved the agreement at the Village Board meeting on April 17, 2018. Due to the court proceeding scheduled for the morning of April 25th, the agreement has been executed on our part in advance of tonight's meeting. Staff recommends the agreement be ratified.

RECOMMENDATION:

Move to Ratify an Intergovernmental Agreement between the Village Of Mount Prospect, High School District 214 and The Mt. Prospect Park District regarding the Mount Prospect and Main Tax Increment Financing District and authorize the President and Secretary to execute and deliver same, for the purpose of participating in the settlement of the litigation which is the subject matter thereof.

DOCUMENTS ATTACHED

- 1) Executed Intergovernmental Agreement for Settlement of the TIF District

**AN INTERGOVERNMENTAL AGREEMENT
BETWEEN THE VILLAGE OF MOUNT PROSPECT,
HIGH SCHOOL DISTRICT 214 AND THE MT. PROSPECT PARK DISTRICT
REGARDING THE MOUNT PROSPECT
PROSPECT AND MAIN TAX INCREMENT FINANCING DISTRICT**

THIS INTERGOVERNMENTAL AGREEMENT entered into as of the last date of signature hereto, between the VILLAGE OF MOUNT PROSPECT, a municipal corporation ("Village"), HIGH SCHOOL DISTRICT 214 and the MT. PROSPECT PARK DISTRICT (which are referred to individually by each's respective name, and which are collectively referred to as the "Taxing Districts"). The Village and the Taxing Districts are individually referred to as a "Party" and collectively referred to as the "Parties."

RECITALS

WHEREAS, pursuant to Ordinance Numbers 6293, 6294 and 6295, adopted January 17, 2017, the Village approved a tax increment redevelopment plan and project, designated the tax increment redevelopment project area and adopted tax increment financing relative to the Village's Prospect and Main Tax Increment Financing District ("Prospect and Main TIF District"); and

WHEREAS, the Prospect and Main TIF District consists of the property legally described and depicted in **EXHIBITS A-1** and **A-2**, respectively, attached hereto and made part hereof ("Redevelopment Project Area"); and

WHEREAS, on June 19, 2017, High School District 214 filed a lawsuit against the Village, entitled *Board of Education of Township High School District No. 214 v. Village of Mount Prospect*, 2017 CH 08478, which is pending in the Circuit Court of Cook County ("Lawsuit"); and

WHEREAS, High School District 214 alleges in the Lawsuit that the Prospect and Main TIF District does not qualify for designation as a tax increment financing district under the Illinois Tax Increment Allocation Redevelopment Act ("TIF Act"), 65 ILCS 5/11-74.4-1, *et seq.*; and

WHEREAS, the Village denies the allegations of High School District 214 in the Lawsuit, and the Mt. Prospect Park District intervened in the Lawsuit and denies the allegations of High School District 214 in the Lawsuit, and both the Village and the Mt. Prospect Park District have defended the validity of the designation of the Prospect and Main TIF District as a tax increment financing district under the TIF Act in the Lawsuit; and

WHEREAS, portions of the Redevelopment Project Area are properties among those included in the Village's Downtown Tax Increment Financing District, as identified in **EXHIBIT B**, attached hereto and made part hereof (collectively the "Subject Properties"), which Downtown Tax Increment Financing District has been dissolved; and

WHEREAS, the Taxing Districts have no objection to the creation or inclusion of the Subject Properties within the Redevelopment Project Area, provided that incremental real estate tax revenues received by the Village, pursuant to the Prospect and Main TIF District, in relation to the Subject Properties, are, on an annual basis, declared surplus revenues pursuant to Section 7 of the TIF Act, 65 ILCS 5/11-74.4-7; and

WHEREAS, the Constitution of the State of Illinois, 1970, Article VII, Section 10, authorizes units of local government and school districts to contract or otherwise associate among themselves in any manner not prohibited by law or by ordinance; and

WHEREAS, the Intergovernmental Cooperation Act, 5 ILCS 220/1, *et seq.*, provides that any power or powers, privileges or authority exercised or which may be exercised by a unit of local government or school district may be exercised and enjoyed jointly with any other units of local government or school districts; and

WHEREAS, Section 4(b) of the TIF Act, 65 ILCS 5/11-74.4-4(b), authorizes municipalities to enter into contracts with overlapping taxing bodies necessary or incidental to implementing or maintaining a tax increment financing redevelopment plan and/or project; and

WHEREAS, the Parties desire to resolve the issues presented in the Lawsuit, and that dismissal of the Lawsuit with prejudice is appropriate given the terms of this Agreement; and

WHEREAS, the Parties have determined that it is in their respective best interests to enter into this Agreement;

NOW, THEREFORE, in consideration of the foregoing recitals and the mutual covenants and agreements herein contained, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by all the Parties hereto, the Parties hereto agree as follows:

1. **RECITALS.** The recitals set forth above are hereby incorporated herein by reference as though fully set forth herein.

2. SURPLUS DECLARATION. The Village shall, as of the Effective Date (as defined in Section 9 below) and during the life of the Prospect and Main TIF District, upon receipt of the incremental real estate tax revenues generated by the Subject Properties each year, declare said incremental real estate tax revenues generated by the Subject Properties as surplus, as defined in 65 ILCS 5/11-74.4-7 ("Surplus Revenue").

3. SURPLUS PAYMENT. In accordance with Section 7 of the TIF Act, 65 ILCS 5/11-74.4-7, the Village shall annually pay said the Surplus Revenue to the Cook County Collector. In regard thereto, partial payments of the Surplus Revenue shall be made by the Village to the Cook County Collector within thirty (30) days of the receipt by the Village of any incremental real estate tax revenue payments, relative to the Prospect and Main TIF District, from the Cook County Treasurer. After payment of Surplus Revenue, the Parties anticipate that, pursuant to Section 7 of the TIF Act, 65 ILCS 5/11-74.4-7, as of the Effective Date:

The County Collector shall thereafter make distribution to the respective taxing districts in the same manner and proportion as the most recent distribution by the county collector to the affected districts of real property taxes from real property in the redevelopment project area.

4. SUCCESSORS. This Agreement shall be binding upon the Parties hereto and their successors.

5. INTEGRATION. This Agreement represents the entire agreement between the Village and the Taxing Districts regarding the subject matters hereof. No amendment, waiver or modification of any term or condition of this Agreement shall be

binding or effective for any purpose unless expressed in writing and adopted by each of the Parties as required by law. No express or implied covenants or representations have been made concerning the subject matter of this Agreement unless expressly stated herein. Any prior written or oral negotiations not contained in this Agreement are of no force or effect whatsoever. In signing this Agreement, the Parties have not and do not rely on any statements, inducements, promises, or representations made by any other Party hereto or the agents, representatives, or attorneys or any Party with regard to the subject matter, basis, or effect of this Agreement, except those specifically set forth in this Agreement.

6. RELEASES AND WAIVERS.

A. Except for obligations arising under this Agreement, High School District 214, and its successors, assigns, insurers and representatives of any kind and all other persons, firms, or corporations that may claim a right in the Lawsuit on behalf of High School District 214 unconditionally release and forever discharge the Village, and its agents, employees, elected and appointed officials, and attorneys, and the Mt. Prospect Park District, and its agents, employees, elected and appointed officials, and attorneys, liable or who might be claimed to be liable, from any and all claims, demands, damages, attorney's fees, expenses, costs, actions, causes of action or suits of any kind or nature whatsoever that could have been alleged by High School District 214 in the Lawsuit. The release given by High School District 214 herein includes all past, present, and future claims, whether known or unknown, relating in any manner to the

subject matter of the Lawsuit. High School District 214 intends that the releases given by it herein be construed as broadly as possible, in accordance with the terms above.

B. Except for obligations arising under this Agreement, the Mt. Prospect Park District, and its successors, assigns, insurers and representatives of any kind and all other persons, firms, or corporations that may claim a right in the Lawsuit on behalf of the Mt. Prospect Park District unconditionally release and forever discharge the Village, and its agents, employees, elected and appointed officials, and attorneys, and High School District 214, and its agents, employees, elected and appointed officials, and attorneys, liable or who might be claimed to be liable, from any and all claims, demands, damages, attorney's fees, expenses, costs, actions, causes of action or suits of any kind or nature whatsoever that could have been alleged by the Mt. Prospect Park District in the Lawsuit. The release given by the Mt. Prospect Park District herein includes all past, present, and future claims, whether known or unknown, relating in any manner to the subject matter of the Lawsuit. The Mt. Prospect Park District intends that the releases given by it herein be construed as broadly as possible, in accordance with the terms above.

C. Except for obligations arising under this Agreement, the Village, and its successors, assigns, insurers and representatives of any kind and all other persons, firms, or corporations that may claim a right in the Lawsuit on behalf of the Village unconditionally release and forever discharge the Mt. Prospect Park District, and its agents, employees, elected and appointed officials, and attorneys, and High School District 214, and its agents, employees, elected and appointed officials, and attorneys,

liable or who might be claimed to be liable, from any and all claims, demands, damages, attorney's fees, expenses, costs, actions, causes of action or suits of any kind or nature whatsoever that could have been alleged by the Village in the Lawsuit. The release given by the Village herein includes all past, present, and future claims, whether known or unknown, relating in any manner to the subject matter of the Lawsuit. The Village intends that the releases given by it herein be construed as broadly as possible, in accordance with the terms above.

D. The Taxing Districts, and their respective successors, assigns, insurers and representatives of any kind and all other persons, firms, or corporations that may claim a right in the Lawsuit on their behalf, by their execution and approval of this Agreement, hereby waive, unconditionally release and forever forgive any and all right to set aside, modify or contest in any manner the creation of the Prospect and Main TIF District, including, but not limited to, the redevelopment plan and project, the Redevelopment Project Area, and any redevelopment agreements or professional services agreements as now or hereafter constituted or entered into by the Village related to the Prospect and Main TIF District. Notwithstanding the foregoing, the Taxing Districts shall fully retain their rights to contest in any manner permitted by law any amendments to the Prospect and Main TIF District and/or the administration of the Prospect and Main TIF District to the extent contrary to the TIF Act, any other applicable law or this Agreement. Nothing contained herein shall be construed to give the Taxing Districts any right to participate in the administration of the Prospect and Main TIF District.

7. **DISMISSAL.** High School District 214 shall dismiss the Lawsuit with prejudice, with the parties thereto to bear their own costs, within ten (10) days of the Effective Date.

8. **SEVERABILITY AND NO WAIVER.** If any section, subsection, sentence, clause or phrase of this Agreement is for any reason held to be invalid, such decision or decisions shall not affect the validity of the remaining portions of this Agreement. The failure of any Party to enforce any provision in this Agreement shall not be construed as a waiver of any such provision, or prevent such Party thereafter from enforcing such provision or any other provision of this Agreement.

9. **EFFECTIVE DATE.** This Agreement shall be effective when approved by the Village of Mount Prospect Village Board and the governing boards of each of the Taxing Districts, and after its execution by the Village and the Taxing Districts (the "Effective Date").

10. **TERM.** This Agreement will remain in effect until the dissolution of the Prospect and Main TIF District.

11. **COUNTERPARTS.** That this Agreement shall be executed in a sufficient number of counterparts so that each Party hereto shall receive an original signature copy hereof.

[THIS SPACE INTENTIONALLY LEFT BLANK – SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the Parties have caused this Agreement to be duly executed by their authorized officials.

VILLAGE OF MOUNT PROSPECT

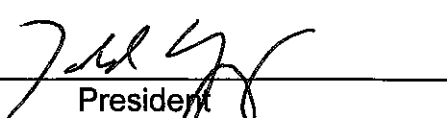
By: 
Mayor

Date: 4-18-18

ATTEST:

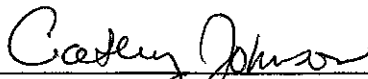

Clerk

HIGH SCHOOL DISTRICT 214

By: 
President

Date: 4/12/18

ATTEST:


Secretary

MT. PROSPECT PARK DISTRICT

By: 
President

Date: 4/20/18

ATTEST:


Secretary

EXHIBIT A-1

MOUNT PROSPECT PROSPECT AND MAIN TIF DISTRICT

LEGAL DESCRIPTION

(attached)

EXHIBIT A-1

Redevelopment Project Area Description

**Village of Mount Prospect
Prospect and Main Tax Increment Financing District**

Legal Description:

THAT PART OF SECTIONS 11 & 12 IN TOWNSHIP 41 NORTH, RANGE 11 EAST AND SECTIONS 33 & 34 IN TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 12 AFORESAID, BEING ALSO THE CENTER LINE OF MT. PROSPECT ROAD, AND THE SOUTHWESTERLY LINE OF NORTHWEST HIGHWAY, BEING ALSO THE NORTHEASTERLY LINE OF THE CHICAGO & NORTHWESTERN RAILWAY RIGHT OF WAY;

THENCE SOUTH ALONG SAID EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 12 AND THE CENTER LINE OF MT. PROSPECT ROAD TO THE SOUTHWESTERLY LINE OF THE CHICAGO & NORTHWESTERN RAILWAY RIGHT OF WAY, BEING ALSO THE NORTHEASTERLY LINE OF PROSPECT AVENUE;

THENCE SOUTHWESTERLY TO THE INTERSECTION OF THE WEST LINE OF MT. PROSPECT ROAD WITH THE SOUTHWESTERLY LINE OF PROSPECT AVENUE;

THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF PROSPECT AVENUE TO THE WEST LINE OF THE EAST 205 FEET OF LOT 1 IN GLEICH'S INDUSTRIAL PARK, A SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHEAST QUARTER AND PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 12 AFORESAID;

THENCE SOUTH ALONG SAID WEST LINE OF THE EAST 205 FEET OF LOT 1 IN GLEICH'S INDUSTRIAL PARK TO THE SOUTHERLY LINE OF LOT 1 AFORESAID;

THENCE NORTHWESTERLY ALONG SAID SOUTHERLY LINE OF LOT 1 IN GLEICH'S INDUSTRIAL PARK TO THE EAST LINE OF SCHOOL STREET;

THENCE SOUTH ALONG SAID EAST LINE OF SCHOOL STREET TO THE NORTHEASTERLY LINE OF LINCOLN STREET;

THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE OF LINCOLN STREET AND THE SOUTHEASTERLY EXTENSION THEREOF TO THE EAST LINE OF WILLIAM STREET;

THENCE SOUTH ALONG SAID EAST LINE OF WILLIAM STREET TO THE SOUTH LINE OF SHA-BONEE TRAIL;

THENCE WEST ALONG SAID SOUTH LINE OF SHA-BONEE TRAIL TO THE EAST LINE OF SCHOOL STREET;

THENCE SOUTH ALONG SAID EAST LINE OF SCHOOL STREET TO THE SOUTH LINE OF COUNCIL TRAIL;

THENCE WEST ALONG SAID SOUTH LINE OF COUNCIL TRAIL TO THE SOUTHERLY EXTENSION OF THE EAST LINE OF LOT 12 IN ELLENDALE, A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE NORTH ALONG SAID SOUTHERLY EXTENSION AND THE EAST LINE OF LOT 12 IN ELLENDALE TO THE NORTH LINE THEREOF;

THENCE WEST ALONG SAID NORTH LINE OF LOT 12 IN ELLENDALE TO THE EAST LINE OF LOT 3 IN ELLENDALE AFORESAID;

THENCE NORTH ALONG SAID EAST LINE OF LOT 3 IN ELLENDALE AND THE NORTHERLY EXTENSION THEREOF TO THE NORTH LINE OF MOEHLING DRIVE;

THENCE WEST ALONG SAID NORTH LINE OF MOEHLING DRIVE AND THE WESTERLY EXTENSION THEREOF TO THE WEST LINE OF MAPLE STREET;

THENCE NORTH ALONG SAID WEST LINE OF MAPLE STREET TO THE NORTH LINE OF THE SOUTH 270 FEET OF LOT 2 IN ETHEL BUSSE'S SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE WEST ALONG SAID NORTH LINE OF THE SOUTH 270 FEET OF LOT 2 IN ETHEL BUSSE'S SUBDIVISION TO THE EAST LINE OF LOTS 35 THRU 42 IN BUSSE'S RESUBDIVISION OF LOT "A" IN BLOCK 11 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT AFORESAID;

THENCE NORTH ALONG SAID EAST LINE OF LOTS 35 THRU 42 IN BUSSE'S RESUBDIVISION TO THE EAST LINE OF LOT 2 IN MILLER RESUBDIVISION OF LOTS 1 TO 3 & 43 IN BUSSE'S SUBDIVISION OF LOT "A" IN BLOCK 11 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT AFORESAID;

THENCE NORTH ALONG SAID EAST LINE OF LOT 2 IN MILLER RESUBDIVISION TO THE SOUTHWESTERLY LINE OF PROSPECT AVENUE;

THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF PROSPECT AVENUE TO THE WESTERLY LINE OF LOT 2 IN MILLER RESUBDIVISION AFORESAID;

THENCE SOUTHEASTERLY ALONG SAID WESTERLY LINE OF LOT 2 IN MILLER RESUBDIVISION TO A BEND THEREIN;

THENCE SOUTH ALONG SAID WESTERLY LINE OF LOT 2 IN MILLER RESUBDIVISION TO THE NORTH LINE OF LOT 3 IN MILLER RESUBDIVISION AFORESAID;

THENCE EAST ALONG SAID NORTH LINE OF LOT 3 IN MILLER RESUBDIVISION TO THE MOST EASTERLY WEST LINE OF LOT 2 IN MILLER RESUBDIVISION AFORESAID;

THENCE SOUTH ALONG SAID MOST EASTERLY WEST LINE OF LOT 2 IN MILLER RESUBDIVISION TO A BEND THEREIN;

THENCE SOUTHEASTERLY ALONG SAID MOST EASTERLY WEST LINE OF LOT 2 IN MILLER RESUBDIVISION TO THE EAST LINE THEREOF, AND THE NORTH LINE OF LOT 42 IN BUSSE'S RESUBDIVISION AFORESAID;

THENCE WEST ALONG SAID NORTH LINE OF LOT 42 IN BUSSE'S RESUBDIVISION AND THE WESTERLY EXTENSION THEREOF TO THE WEST LINE OF EMERSON STREET;

THENCE NORTH ALONG SAID WEST LINE OF EMERSON STREET TO THE SOUTH LINE OF LOT 11 IN BUSSE'S RESUBDIVISION AFORESAID;

THENCE WEST ALONG SAID SOUTH LINE OF LOT 11 IN BUSSE'S RESUBDIVISION TO THE EAST LINE OF LOTS 5 THRU 9 IN BLOCK 1 IN MEIER'S ADDITION TO MT. PROSPECT IN THE NORTHWEST QUARTER OF SECTION AFORESAID, LYING SOUTH OF THE RIGHT OF WAY OF THE CHICAGO & NORTHWESTERN RAILWAY;

THENCE NORTH ALONG SAID EAST LINE OF LOTS 5 THRU 9 IN BLOCK 1 IN MEIER'S ADDITION TO MT. PROSPECT TO THE NORTH LINE OF LOT 5 AFORESAID;

THENCE WEST ALONG SAID NORTH LINE OF LOT 5 IN BLOCK 1 IN MEIER'S ADDITION TO MT. PROSPECT AND THE WESTERLY EXTENSION THEREOF TO THE WEST LINE OF MAIN STREET;

THENCE NORTH ALONG SAID WEST LINE OF MAIN STREET TO THE NORTH LINE OF LOT 24 IN BLOCK 4 IN MEIER'S ADDITION TO MT. PROSPECT AFORESAID;

THENCE WEST ALONG SAID NORTH LINE OF LOT 24 IN BLOCK 4 IN MEIER'S ADDITION TO MT. PROSPECT TO THE WEST LINE OF THE 20 FOOT WIDE ALLEY EAST OF WILLE STREET;

THENCE NORTH ALONG SAID WEST LINE OF THE 20 FOOT WIDE ALLEY EAST OF WILLE STREET TO THE SOUTH LINE OF EVERGREEN AVENUE;

THENCE WEST ALONG SAID SOUTH LINE OF EVERGREEN AVENUE TO THE WEST LINE OF WILLE STREET;

THENCE NORTH ALONG SAID WEST LINE OF WILLE STREET TO THE SOUTH LINE OF LOT 13 IN BUSSE'S RESUBDIVISION OF LOTS 1 TO 6, INCLUSIVE, OF RESUBDIVISION OF LOTS 1 TO 6, INCLUSIVE, IN BLOCK 4, ALOS OF LOTS 2 & 3 IN BLOCK 5, ALL OF BLOCK 6, LOT 13 TO 24, INCLUSIVE, IN BLOCK 7, LOTS 17 TO 20 IN BLOCK 8 ALL IN MEIER'S ADDITION TO MT. PROSPECT IN THE NORTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE WEST ALONG SAID SOUTH LINE OF LOT 13 IN BUSSE'S RESUBDIVISION TO THE WEST LINE OF LOTS 13 AND 14 IN BUSSE'S RESUBDIVISION;

THENCE NORTH ALONG SAID WEST LINE OF LOTS 13 AND 14 IN BUSSE'S RESUBDIVISION TO THE SOUTHWESTERLY LINE OF THE 16 FOOT WIDE ALLEY SOUTHWESTERLY OF PROSPECT AVENUE;

THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF THE 16 FOOT WIDE ALLEY SOUTHWESTERLY OF PROSPECT AVENUE AND THE NORTHWESTERLY EXTENSION THEREOF TO THE WEST LINE OF PINE STREET;

THENCE NORTH ALONG SAID WEST LINE OF PINE STREET TO THE SOUTHERLY LINE OF THE 16 FOOT WIDE ALLEY SOUTHWESTERLY OF PROSPECT AVENUE;

THENCE WEST AND NORTHWESTERLY ALONG SAID SOUTHERLY LINE OF THE 16 FOOT WIDE ALLEY SOUTHWESTERLY OF PROSPECT AVENUE AND THE NORTHWESTERLY EXTENSION THEREOF TO ITS INTERSECTION WITH THE SOUTH LINE OF BUSSE AVENUE;

THENCE WEST ALONG SAID SOUTH LINE OF BUSSE AVENUE TO THE SOUTHERLY EXTENSION OF THE WEST LINE OF THE 20 FOOT WIDE ALLEY WEST OF ELMHURST AVENUE;

THENCE NORTH ALONG SAID SOUTHERLY EXTENSION AND THE WEST LINE OF THE 20 FOOT WIDE ALLEY WEST OF ELMHURST AVENUE TO THE SOUTHWESTERLY LINE OF THE 16 FOOT WIDE ALLEY SOUTHWESTERLY OF PROSPECT AVENUE;

THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF THE 16 FOOT WIDE ALLEY SOUTHWESTERLY OF PROSPECT AVENUE AND THE NORTHWESTERLY EXTENSION THEREOF TO THE WEST LINE OF I-OKA AVENUE;

THENCE NORTH ALONG SAID WEST LINE OF I-OKA AVENUE TO THE SOUTHERLY LINE OF THE 16 FOOT WIDE ALLEY SOUTHWESTERLY OF PROSPECT AVENUE;

THENCE WEST AND NORTHWESTERLY ALONG SAID SOUTHERLY LINE OF THE 16 FOOT WIDE ALLEY SOUTHWESTERLY OF PROSPECT AVENUE AND THE NORTHWESTERLY EXTENSION THEREOF TO THE WEST LINE OF HI-LUSI AVENUE;

THENCE NORTH ALONG SAID WEST LINE OF HI-LUSI AVENUE TO THE SOUTHWESTERLY LINE OF PROSPECT AVENUE;

THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF PROSPECT AVENUE TO THE SOUTH LINE OF CENTRAL ROAD;

THENCE WEST ALONG SAID SOUTH LINE OF CENTRAL ROAD TO THE EAST LINE OF LOT 8 IN H.ROY BERRY CO.S' COLONIAL MANOR, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 11 AND PART OF THE NORTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE SOUTH ALONG SAID EAST LINE OF LOT 8 IN H.ROY BERRY CO.S' COLONIAL MANOR AND THE SOUTHERLY EXTENSION THEREOF TO THE SOUTH LINE OF THE 16 FOOT WIDE ALLEY SOUTH OF CENTRAL ROAD;

THENCE WEST ALONG SAID SOUTH LINE OF THE 16 FOOT WIDE ALLEY SOUTH OF CENTRAL ROAD TO THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 11 AFORESAID;

THENCE NORTH ALONG SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 11 TO THE SOUTH LINE OF CENTRAL ROAD;

THENCE WEST ALONG SAID SOUTH LINE OF CENTRAL ROAD TO THE SOUTHERLY EXTENSION OF THE WEST LINE OF MILLERS LANE;

THENCE NORTH ALONG SAID SOUTHERLY EXTENSION AND THE WEST LINE OF MILLERS LANE TO THE WESTERLY EXTENSION OF THE SOUTH LINE OF LOT 11 IN MILLERS STATION SUBDIVISION, A RESUBDIVISION OF LOT 1 IN TRADE SERVICE PUBLICATIONS SUBDIVISION AND PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 33 AFORESAID;

THENCE EAST ALONG SAID WESTERLY EXTENSION AND THE SOUTH LINE OF LOT 11 IN MILLERS STATION SUBDIVISION AND THE EASTERLY EXTENSION THEREOF TO THE EAST LINE OF CATHY LANE;

THENCE NORTH ALONG SAID EAST LINE OF CATHY LANE TO THE EAST LINE OF LOT 12 IN MILLERS STATION SUBDIVISION AFORESAID;

THENCE NORTH ALONG SAID EAST LINE OF LOT 12 IN MILLERS STATION SUBDIVISION AND THE NORTHERLY EXTENSION THEREOF TO THE SOUTHWESTERLY LINE OF THE CHICAGO & NORTHWESTERN RAILWAY RIGHT OF WAY;

THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE OF THE CHICAGO & NORTHWESTER RAILWAY RIGHT OF WAY TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 33 AFORESAID;

THENCE NORTH ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 33 AFORESAID TO THE WESTERLY EXTENSION OF THE NORTH LINE OF HENRY STREET;

THENCE EAST ALONG SAID WESTERLY EXTENSION AND THE NORTH LINE OF HENRY STREET TO THE EAST LINE OF FAIRVIEW AVENUE;

THENCE SOUTH ALONG SAID EAST LINE OF FAIRVIEW AVENUE TO THE NORTHEASTERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY;

THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY TO THE WEST LINE OF PROSPECT MANOR AVENUE;

THENCE EAST PERPENDICULAR TO THE WEST LINE OF FAIRVIEW AVENUE TO THE EAST LINE OF PROSPECT MANOR AVENUE;

THENCE SOUTH ALONG SAID EAST LINE OF PROSPECT MANOR AVENUE TO THE NORTH LINE OF WALNUT STREET;

THENCE EAST ALONG SAID NORTH LINE OF WALNUT STREET AND THE EASTERLY EXTENSION THEREOF TO THE EAST LINE OF RIDGE AVENUE;

THENCE SOUTH ALONG SAID EAST LINE OF RIDGE AVENUE TO THE NORTH LINE OF LOT 1 IN FRIEDRICH'S SUBDIVISION OF LOTS 4 & 5 IN BLOCK 25 IN PROSPECT MANOR, A SUBDIVISION OF THE SOUTH 3/4 OF THE WEST HALF OF THE WEST HALF OF SECTION 34 AFORESAID;

THENCE EAST ALONG SAID NORTH LINE OF LOT 1 IN FRIEDRICH'S SUBDIVISION TO THE WEST LINE OF ELMHURST AVENUE;

THENCE NORTH ALONG SAID WEST LINE OF ELMHURST AVENUE TO THE WESTERLY EXTENSION OF THE NORTH LINE OF THE PLAT OF CONSOLIDATION OF THE WEST 70 FEET OF LOTS 1 THRU 10 IN BLOCK 3 AND PART OF BLOCK 4 IN THE ERNST BUSSE ADDITION TO MT. PROSPECT IN THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 34 AFORESAID;

THENCE EAST ALONG SAID WESTERLY EXTENSION AND THE NORTH LINE OF THE PLAT OF CONSOLIDATION TO THE EAST LINE OF LOT 1 IN THE PLAT OF CONSOLIDATION AFORESAID;

THENCE SOUTH ALONG SAID EAST LINE LOT 1 IN THE PLAT OF CONSOLIDATION TO THE NORTH LINE OF CENTRAL ROAD;

THENCE EAST ALONG SAID NORTH LINE OF CENTRAL ROAD TO THE EAST LINE OF PINE STREET;

THENCE SOUTH ALONG SAID EAST LINE OF PINE STREET TO THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY;

THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE OF NORTHWEST HIGHWAY TO THE WESTERLY LINE OF LOT 3 IN CLOCK TOWER PLACE RESUBDIVISION OF LOTS 18 & 19 AND THE NORTH 22 FEET OF LOT 17 IN BLOCK 2 OF BUSSE & WILDE'S RESUBDIVISION IN MT. PROSPECT TOGETHER WITH LOT "A" IN CORPORATE SUBDIVISION NO. 8 VILLAGE OF MT. PROSPECT AND LOT 1 IN WILLE'S RECONSOLIDATION IN THE NORTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE NORTHEASTERLY ALONG SAID WESTERLY LINE OF LOT 3 IN CLOCK TOWER PLACE RESUBDIVISION 38.06 FEET TO A BEND THEREIN;

THENCE EAST ALONG SAID WESTERLY LINE OF LOT 3 IN CLOCK TOWER PLACE RESUBDIVISION 28.07 FEET TO A BEND THEREIN;

THENCE NORTHEASTERLY ALONG SAID WESTERLY LINE OF LOT 3 IN CLOCK TOWER PLACE RESUBDIVISION 18.61 FEET TO A BEND THEREIN;

THENCE EAST ALONG SAID WESTERLY LINE OF LOT 3 IN CLOCK TOWER PLACE RESUBDIVISION 30.63 FEET TO A BEND THEREIN;

THENCE NORTH ALONG SAID WESTERLY LINE OF LOT 3 IN CLOCK TOWER PLACE RESUBDIVISION 65.92 FEET TO THE NORTH LINE THEREOF;

THENCE EAST ALONG SAID NORTH LINE OF LOT 3 IN CLOCK TOWER PLACE RESUBDIVISION TO THE WEST LINE OF WILLE STREET;

THENCE EAST TO THE EAST LINE OF WILLE STREET AT THE SOUTHWEST CORNER OF LOT 1 IN PROSPECT PLACE PLAT OF RESUBDIVISION OF SUNDRY LOTS AND VACATED ALLEYS OF VARIOUS SUBDIVISIONS IN THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE EAST ALONG THE SOUTH LINE OF LOT 1 IN PROSPECT PLACE PLAT OF RESUBDIVISION TO THE EAST LINE THEREOF;

THENCE NORTH ALONG SAID EAST LINE OF LOT 1 IN PROSPECT PLACE PLAT OF RESUBDIVISION TO THE SOUTH LINE OF CENTRAL ROAD;

THENCE WEST ALONG SAID SOUTH LINE OF CENTRAL ROAD TO THE SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 1 IN TRAPANI'S RESUBDIVISION OF LOT "A" IN BLOCK 1 IN THE ERNST BUSSE ADDITION TO MT. PROSPECT AND LOT "A" IN HILLCREST SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 34 AFORESAID;

THENCE NORTH ALONG SAID SOUTHERLY EXTENSION AND THE WEST LINE OF LOT 1, AND THE WEST LINE OF LOT 2 IN TRAPANI'S RESUBDIVISION AND THE NORTHERLY EXTENSION THEREOF TO THE NORTH LINE OF HENRY STREET;

THENCE EAST ALONG SAID NORTH LINE OF HENRY STREET TO THE EAST LINE OF MAIN STREET;

THENCE SOUTH ALONG SAID EAST LINE OF MAIN STREET TO THE NORTH LINE OF CENTRAL ROAD;

THENCE EAST ALONG SAID NORTH LINE OF CENTRAL ROAD TO THE EAST LINE OF EMERSON STREET;

THENCE SOUTH ALONG SAID EAST LINE OF EMERSON STREET TO THE NORTH LINE OF LOT 13 IN BLOCK 5 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE EAST ALONG SAID NORTH LINE OF LOT 13 IN BLOCK 5 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT TO THE EAST LINE THEREOF;

THENCE SOUTH ALONG SAID EAST LINE OF LOT 13 IN BLOCK 5 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT TO THE NORTH LINE OF BUSSE AVENUE;

THENCE EAST ALONG SAID NORTH LINE OF BUSSE AVENUE TO THE EAST LINE OF MAPLE STREET;

THENCE SOUTH ALONG SAID EAST LINE OF MAPLE STREET TO THE NORTH LINE OF LOT 9 IN BLOCK 11 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT AFORESAID;

THENCE EAST ALONG SAID NORTH LINE OF LOT 9 IN BLOCK 11 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT TO THE EAST LINE THEREOF;

THENCE SOUTH ALONG SAID EAST LINE OF LOT 9 IN BLOCK 11 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT TO THE SOUTH LINE THEREOF;

THENCE SOUTHWESTERLY ALONG SAID SOUTH LINE OF LOT 9 IN BLOCK 11 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT TO THE EAST LINE OF LOT 12 IN BLOCK 11 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT, BEING ALSO THE WESTERLY LINE OF VILLAGE COMMONS A PLANNED UNIT DEVELOPMENT OF LOTS 2, 3, 4 & OUT LOT 1 IN TAX INCREMENT FINANCE SUBDIVISION NO. 1, A RESUBDIVISION OF LOTS A & B IN THE RESUBDIVISION OF LOTS 2 TO 6, PART OF LOT 1 IN THE SUBDIVISION OF BLOCK 10, LOT 16 IN BUSSE'S SUBDIVISION, LOTS 13 TO 15 IN BLOCK 11 & PART OF BLOCK 9 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT IN THE NORTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE SOUTH ALONG SAID WESTERLY LINE OF VILLAGE COMMONS A PLANNED UNIT DEVELOPMENT 172.45 FEET TO A BEND THEREIN;

THENCE WEST ALONG SAID WESTERLY LINE OF VILLAGE COMMONS A PLANNED UNIT DEVELOPMENT 4.63 FEET TO A BEND THEREIN;

THENCE SOUTH ALONG SAID WESTERLY LINE OF VILLAGE COMMONS A PLANNED UNIT DEVELOPMENT 147.65 FEET TO A BEND THEREIN;

THENCE SOUTHWESTERLY ALONG SAID WESTERLY LINE OF VILLAGE COMMONS A PLANNED UNIT DEVELOPMENT TO THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY;

THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE OF NORTHWEST HIGHWAY TO THE NORTHWESTERLY LINE OF LOT 1 IN TAX INCREMENT FINANCE SUBDIVISION NO. 1, A RESUBDIVISION OF PARTS OF BLOCKS 9, 10 & 11 IN BUSSE & WILLE'S RESUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE NORTHEASTERLY ALONG SAID NORTHWESTERLY LINE OF LOT 1 IN TAX INCREMENT FINANCE SUBDIVISION NO. 1 TO THE NORTHEASTERLY LINE THEREOF;

THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE OF LOT 1 IN TAX INCREMENT FINANCE SUBDIVISION NO. 1 TO THE NORTH LINE OF LOT A IN GEORGE R. BUSSE'S RESUBDIVISION OF PART OF BLOCK 9 IN BUSSE & WILLE'S RESUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 12 AFORESAID;

THENCE EAST ALONG SAID NORTH LINE OF LOT A IN GEORGE R. BUSSE'S RESUBDIVISION AND THE EASTERLY EXTENSION THEREOF TO THE EAST LINE OF SCHOOL STREET;

THENCE SOUTH ALONG SAID EAST LINE OF SCHOOL STREET TO THE NORTH LINE OF THE SOUTH HALF OF LOT 33 IN MT. PROSPECT SUBDIVISION IN SECTION 12 AFORESAID;

THENCE EAST ALONG SAID NORTH LINE OF THE SOUTH HALF OF LOT 33 IN MT. PROSPECT SUBDIVISION AND THE EASTERLY EXTENSION THEREOF TO THE EAST LINE OF THE 16 FOOT WIDE ALLEY EAST OF SCHOOL STREET;

THENCE SOUTH ALONG SAID EAST LINE OF THE 16 FOOT ALLEY EAST OF SCHOOL STREET TO THE NORTH LINE OF LOT 1 IN BRUCE'S RESUBDIVISION IN MT. PROSPECT OF LOTS 22 TO 27 IN BLOCK 20 IN MT. PROSPECT SUBDIVISION IN SECTION 12 AFORESAID;

THENCE EAST ALONG SAID NORTH LINE OF LOT 1 IN BRUCE'S RESUBDIVISION IN MT. PROSPECT AND THE EASTERLY EXTENSION THEREOF TO THE EAST LINE OF OWEN STREET;

THENCE SOUTH ALONG SAID EAST LINE OF OWEN STREET TO THE NORTHWESTERLY EXTENSION OF THE NORTHEASTERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY;

THENCE SOUTHEASTERLY ALONG SAID NORTHWESTERLY EXTENSION AND THE NORTHEASTERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY AND THE SOUTHEASTERLY EXTENSION THEREOF TO THE EAST LINE OF LOUIS STREET;

THENCE SOUTH ALONG SAID EAST LINE OF LOUIS STREET TO THE NORTHERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY;

THENCE EAST AND SOUTHEASTERLY ALONG SAID NORTHERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY AND THE SOUTHEASTERLY EXTENSION THEREOF TO THE EAST LINE OF EDWARDS STREET;

THENCE SOUTH ALONG SAID EAST LINE OF EDWARDS STREET TO THE NORTH LINE OF LINCOLN STREET;

THENCE EAST ALONG SAID NORTH LINE OF LINCOLN STREET TO THE NORTHERLY EXTENSION OF THE EAST LINE OF LOT 1 IN OLIVER'S RESUBDIVISION OF LOTS 12 & 13 IN H. ROY BERRY COMPANY'S MAPLEWOOD HEIGHTS (EXCEPT THE SOUTHERLY 66 FEET FOR ROAD) ALSO BLOCK 26 IN BUSSE'S EASTERN ADDITION TO MT. PROSPECT IN THE EAST HALF OF SECTION 12 AFORESAID;

THENCE SOUTH ALONG SAID NORTHERLY EXTENSION AND THE EAST LINE OF LOT 1 IN OLIVER'S RESUBDIVISION TO THE NORTHEASTERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY;

THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY TO THE EAST LINE OF GEORGE STREET;

THENCE NORTH ALONG SAID EAST LINE OF GEORGE STREET TO THE NORTH LINE OF LOT 17 IN MAPLEWOOD HEIGHTS, A SUBDIVISION NORTH OF THE RAILROAD IN THE DIVISION OF THE SOUTHEAST QUARTER OF SECTION 12 AFORESAID;

THENCE EAST ALONG SAID NORTH LINE OF LOT 17 IN MAPLEWOOD HEIGHTS TO THE EAST LINE THEREOF;

THENCE SOUTH ALONG SAID EAST LINE OF LOT 17 IN MAPLEWOOD HEIGHTS TO THE NORTHEASTERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY;

THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE OF THE 16 FOOT WIDE ALLEY NORTHEASTERLY OF NORTHWEST HIGHWAY TO THE WEST LINE OF LOT 65 IN MAPLEWOOD HEIGHTS AFORESAID;

THENCE NORTH ALONG SAID WEST LINE OF LOT 65 IN MAPLEWOOD HEIGHTS TO THE NORTH LINE THEREOF;

THENCE EAST ALONG SAID NORTH LINE OF LOT 65 IN MAPLEWOOD HEIGHTS AND THE EASTERLY EXTENSION THEREOF TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 12 AFORESAID, BEING ALSO THE CENTER LINE OF MT. PROSPECT ROAD;

THENCE SOUTH ALONG SAID EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 12 AFORESAID, BEING ALSO THE CENTER LINE OF MT. PROSPECT ROAD, TO THE SOUTHWESTERLY LINE OF NORTHWEST HIGHWAY, BEING ALSO THE NORTHEASTERLY LINE OF THE CHICAGO & NORTHWESTERN RAILWAY RIGHT OF WAY, AND THE POINT OF BEGINNING;

EXCEPTING THEREFROM

THAT PART OF LOT 1 IN DESIDERATA SUBDIVISION OF BLOCK 1 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT IN SECTION 12 AFORESAID, LYING NORTH OF A LINE DESCRIBED AS FOLLOWS:

BEGINNING ON THE WEST LINE OF SAID LOT 1 AT POINT 246.07 FEET SOUTH OF THE NORTHWEST CORNER THEREOF;

THENCE EAST PERPENDICULAR TO THE WEST LINE OF SAID LOT 1, A DISTANCE OF 67.34 FEET;

THENCE NORTHEASTERLY ALONG A LINE DRAWN PERPENDICULAR TO THE SOUTHWESTERLY LINE OF LOT 1, A DISTANCE OF 65.76 FEET;

THENCE EAST PERPENDICULAR TO THE WEST LINE OF SAID LOT 1, A DISTANCE OF 55.38 FEET TO THE MOST WESTERLY EAST LINE OF SAID LOT 1, AND THE POINT OF TERMINUS OF SAID LINE;

ALSO EXCEPTING THEREFROM

ALL OF VILLAGE CENTRE PHASE 1-B PLAT OF RESUBDIVISION OF LOTS 6, 7, 8, 9 IN BLOCK 13 IN BUSSE & WILLE'S RESUBDIVISION IN MT. PROSPECT AND PARTS OF LOTS 8, 9, 10 IN BLOCK 15 IN MT. PROSPECT SUBDIVISION IN SECTION 12 AFORESAID;

IN COOK COUNTY, ILLINOIS.

EXHIBIT A-2

MOUNT PROSPECT PROSPECT AND MAIN TIF DISTRICT

MAP

(attached)

Map: Prospect & Main Proposed RPA Boundary

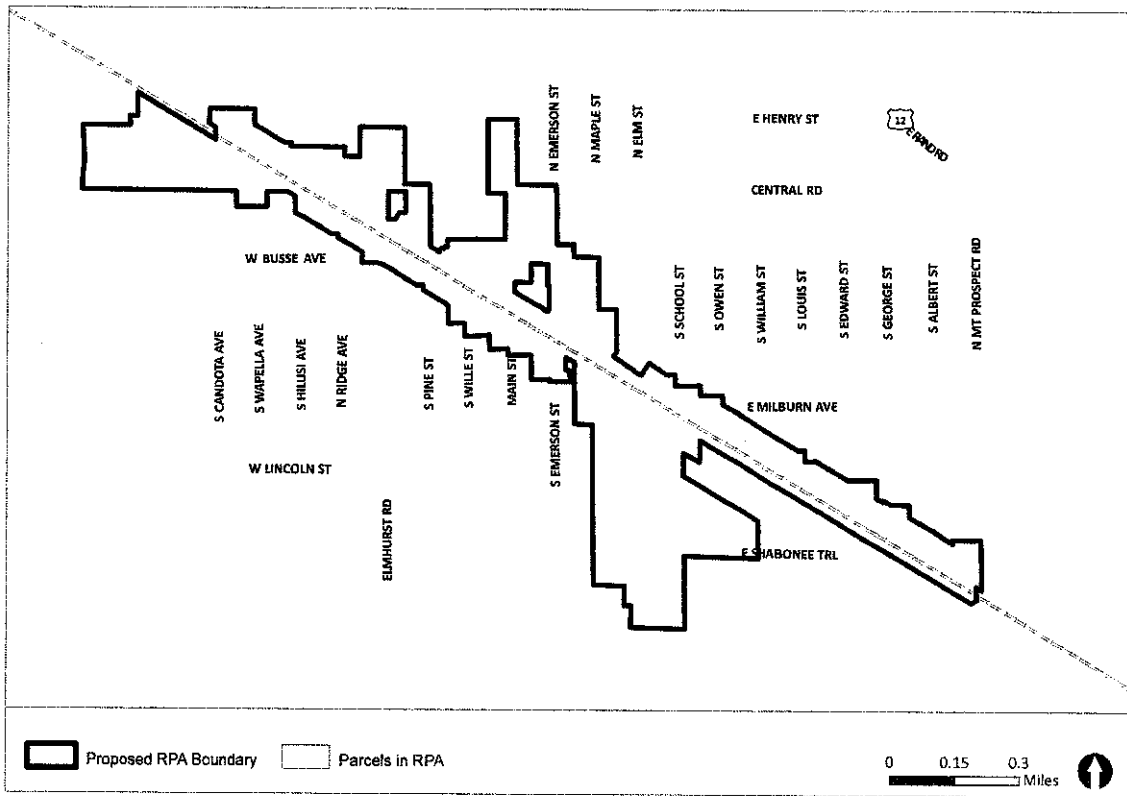


EXHIBIT B

LIST OF SUBJECT PROPERTIES

(attached)

Parcel Identification Number	Address			
03-34-331-018-0000	2-38	N.	MAIN	ST
08-11-204-015-0000	310	W.	NORTHWEST	HW
08-11-204-016-0000	302	W.	NORTHWEST	HW
08-11-204-017-0000	301	W.	CENTRAL	RD
08-12-100-007-0000	201	W.	CENTRAL	RD
08-12-100-008-0000	4	S.	PINE	ST
08-12-100-013-0000	200-230	W.	NORTHWEST	HW
08-12-100-015-0000	10	S.	PINE	ST
08-12-100-016-8001	10	S.	PINE	ST
08-12-100-016-8002	10	S.	PINE	ST
08-12-101-023-0000	106-110	W.	NORTHWEST	HW
08-12-103-014-0000	30	S.	EMERSON	ST
08-12-103-017-0000	30	S.	EMERSON	ST
08-12-103-019-0000	12	E.	BUSSE	AV
08-12-103-020-0000	50	S.	EMERSON	ST
08-12-103-021-0000	50	S.	EMERSON	ST
08-12-103-025-0000	30	S.	EMERSON	ST
08-12-103-026-0000	50	S.	EMERSON	ST
08-12-103-027-0000	12	E.	BUSSE	AV
08-12-103-028-0000	10	S.	EMERSON	ST
08-12-103-031-0000	50	S.	EMERSON	ST
08-12-103-032-0000	50	S.	EMERSON	ST
08-12-104-009-0000	19	S.	EMERSON	ST
08-12-104-010-0000	21	S.	EMERSON	ST
08-12-110-031-0000	200	E.	EVERGREEN	AV
08-12-115-001-0000	0			
08-12-115-005-0000	320	E.	NORTHWEST	HW
08-12-115-006-0000	320	E.	NORTHWEST	HW
08-12-116-006-0000	330	E.	NORTHWEST	HW
08-12-214-061-0000	406-408	E.	NORTHWEST	HW
08-12-214-062-0000	406-408	E.	NORTHWEST	HW
08-12-214-063-0000	406-408	E.	NORTHWEST	HW
08-12-214-065-0000	422	E.	NORTHWEST	HW
08-12-214-066-0000	410	E.	NORTHWEST	HW



MEMORANDUM

To: Board of Park Commissioners

From: George Giese, Superintendent of Business & IT Services

Date: April 25, 2018

Re: Adoption of Resolution 757 - A Resolution to Authorize the Treasurer of the Mt. Prospect Park District to transfer funds from the Corporate Fund to the IMRF Fund

C: Dan Malartsik, Executive Director

SUMMARY & BACKGROUND:

As of December 31, 2017, the District's General Fund reflects a surplus in excess of the fund deficit in the District's Illinois Municipal Retirement Fund. At the recommendation of District Staff and Financial Advisor, staff is recommending a resolution to authorize a transfer of funds from the General Fund to the District's Illinois Municipal Retirement Fund.

This transfer will eliminate the negative fund balance in the District's Illinois Municipal Retirement Fund and repay existing interfund loans between the General and Illinois Municipal Retirement Funds, while still maintaining a surplus in the General Fund.

DOCUMENTS ATTACHED:

- 1) Summary - All Funds Report 12/31/2017
- 2) Resolution 757

RECOMMENDATION:

Move to adopt Resolution No. 757 to authorize a transfer of \$200,000 from the General Fund to the Illinois Municipal Retirement Fund, reflective December 31, 2017.

MOUNT PROSPECT PARK DISTRICT
SUMMARY - ALL FUNDS
For Twelve Months Ended 12-31-17

100% of Calendar Year

ACCOUNT NAMES	TOTALS	CORP.	REC.	LIAB INS.	SOCIAL SEC	NWSRA	IMRF CONSERV.	PAV/LIGHT	DEBT SRV	INT SERV.	Fund 70 2014 PROJ.	Fund 94 2014 PROJ.	Fund 95 2015 PROJ.	Fund 96 2016 PROJ.	Fund 97 2017 PROJ.
BALANCE 1-1-17	6,317,484	758,887	763,301	286,327	122,646	1,728,095	(159,425)	622,475	6,419	735,323	52,621	44,288	13,185	1,107,428	
REVENUES:															
PROPERTY TAXES	9,922,509	2,130,640	1,324,352	636,564	514,980	590,850	760,438	736,563	73,856	3,152,244					
REPLACEMENT TAXES	151,455	151,455						56,665							
RENTAL	637,775	51,298	529,812												
PASSES/USER FEES	821,903		821,903												
DAILY USER FEES	1,161,695		1,161,695												
PROGRAM FEES	3,690,011		3,640,809					49,202							
CONCESSION SALES	189,287		166,206					33,078							
GRANTS & SPONSORS	206,751		18,751					66							188,000
V/M/C & OTHER	446,876	164,082	(74,184)						6,209	336,260					14,444
INTEREST	11,258	1,471							4,524						5,263
INT PROJ CHARGES															
INST CONTRACT PRC															
BOND PROCEEDS															
TOTAL REVENUE	23,289,520	2,498,946	7,589,346	636,564	514,980	590,850	760,438	877,573	73,856	8,091,485	336,260	10,733	-	207,707	1,100,759
% of Budget	100%	108%	98%	100%	101%	103%	100%	104%	103%	100%	79%	n/a	n/a	100%	92%
EXPENDITURES:															
FULL TIME SALARIES	3,513,077	1,166,904	1,743,074	152,124				389,076			61,898				
PART TIME SALARIES	2,837,445	83,523	2,557,418					126,978			69,527				
FRINGE BENEFITS	1,313,714	431,388	709,530	40,840				108,869			23,067				
CONTRACTUAL SERVICES	1,468,115	211,362	1,005,129	52,046				47,376	4,058		148,125				
COMMODITIES	1,032,418	125,437	759,780					62,093			85,107				
CONCESSIONS	108,181		96,297					9,884							
UTILITIES	909,036	207,494	638,335	428,267				63,207							
INSURANCE	428,267														
N W SPECIAL REC	339,598					339,598									
RETIREMENT	1,271,640				477,149		794,491								
DEBT CERTIFICATES	1,789,241														
ROLLOVER BONDS	2,982,111														
BANK NOTES	170,718														
BONDS DEFEASSED & FEES	3,184,181														
SALES TAX/OTHER	18,669		15,541					3,128							
CAPITAL PROJECTS:															
LAND	355,773							355,773							221,431
EQUIP & VEHICLES	229,925														
ADA IMPROV	397,174				397,174										
BUILDINGS	118,787														112,954
POOLS	8,491														8,491
PARK IMPROV	1,249,847														833,872
TOTAL EXPENDITURE	23,726,406	2,226,128	7,527,104	673,277	477,149	736,772	794,491	1,166,404	23,630	8,130,309	387,723	226,911	13,185	1,176,548	111,755
% of Budget	92%	96%	98%	100%	93%	56%	105%	138%	33%	100%	91%	84%	54%	76%	9%
REVENUE OVER(UNDER)	(436,887)	272,819	62,242	(36,653)	37,832	(145,922)	(34,053)	(288,831)	50,226	(38,823)	(51,463)	(44,288)	(13,185)	(568,841)	989,004
FUND BALANCE 12-31-17	5,880,597	1,031,706	825,543	249,635	160,478	1,582,174	(184,477)	333,644	56,645	696,500	1,157	-	-	138,587	989,004

RESOLUTION NO.757

MT. PROSPECT PARK DISTRICT

**A RESOLUTION AUTHORIZING AND DIRECTING THE
TREASURER OF THE MT. PROSPECT PARK DISTRICT
TO TRANSFER CERTAIN FUNDS FROM THE GENERAL FUND
TO THE ILLINOIS MUNICIPAL RETIREMENT FUND OF THE
DISTRICT**

WHEREAS, the Mt. Prospect Park District currently has funds on hand in the **General Fund** that are not pledged for or allocated to particular purpose.

NOW THEREFORE, BE IT AND THE FOLLOWING HEREBY IS RESOLVED BY the Board of Park Commissioners of the Mt. Prospect Park District:

1. That the Treasurer of the Mt. Prospect Park District is hereby authorized and directed to transfer the sum of **TWO HUNDRED THOUSAND DOLLARS (\$200,000)** from the General Fund of the Mt. Prospect Park District to the Illinois Municipal Retirement Fund of the Mt. Prospect Park District.
2. That all resolutions and ordinances in conflict with or inconsistent with the provisions hereof be and the same hereby are repealed.
3. This resolution shall be effective upon adoption.
4. This resolution shall be effective upon adoption, but shall be implemented as of, December 31 2017.

ADOPTED this 25th day of April, 2018.

APPROVED this 25th day of April, 2018.

RECORDED this 25th day of April, 2018.

VOTE:

Ayes:

Nays:

Absent:

President
Board of Park Commissioners
Mt. Prospect Park District
Cook County, Illinois

ATTEST:

Secretary
Board of Park Commissioners
Mt. Prospect Park District
Cook County, Illinois

STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, William Starr, DO HEREBY CERTIFY that I am the duly elected, qualified and acting Secretary of the Mt. Prospect Park District and of the Board of Park commissioners of the Mt. Prospect Park District, and that I have access to the official minutes of the meetings of the Board of Park Commissioners of the Mt. Prospect Park District.

I DO FURTHER CERTIFY that the above and foregoing is a true and correct copy (duplicate) of a certain resolution entitled:

RESOLUTION NO.757

MT. PROSPECT PARK DISTRICT

**A RESOLUTION AUTHORIZING AND DIRECTING THE
TREASURER OF THE MT. PROSPECT PARK DISTRICT
TO TRANSFER CERTAIN FUNDS FROM THE GENERAL FUND
TO THE ILLINOIS MUNICIPAL RETIREMENT FUND OF THE DISTRICT**

That the foregoing was adopted by the Board of Park Commissioners of said Mt. Prospect Park District on the 25th day of April, 2018, and was on the same day approved by the Secretary of the Mt. Prospect Park District; that it was filed and recorded in the office of the Secretary of the Mt. Prospect Park District of which the foregoing is a true copy (duplicate) and is now on file in the office of such Secretary.

GIVEN under my hand and seal of the Mt. Prospect Park District this 25th day of April, 2018.

Secretary

(Seal)



MEMORANDUM

To: Board of Commissioners

From: Jim Jarog, Director of Parks and Planning

Date: 4/25/18

Re: Central Community Center Improvements

C: Dan Malartsik, Executive Director

SUMMARY & BACKGROUND:

The Mt. Prospect Park District entered into a rental agreement with Northwest Special Recreation Association (NWSRA) facilitated by Executive Director Malartsik. The agreement allowed the use of the northeast portion of the Central Community Center for NWSRA programming. The area covers the party room area off the northeast corner of the rink.

As part of this partnership, the space described above will be renovated to allow for NWSRA's use of the space. The renovation is fully funded with grant money and includes the following: New flooring throughout, new wall finishes, new lighting, opening up the kitchen area with improved cabinets, additional storage cabinets, ADA accessible entryway and door system, ADA accessible ramp system, designated bus drop off and parking area.

This project was published for bid on April 24, 2018 and is set to come before the Mt. Prospect Board of Commissioners at the May 23rd, 2018 Board Meeting for review and consideration. The Architect's total project budget is targeted at \$213,400 for this project. Alternates are being included in the bid documents to allow for certain portions of the work to be removed and done in house if required. This work would be funded using grants obtained by NWSRA.

DOCUMENTS ATTACHED

1. Permit Submittal Drawings dated 4.6.18
2. Wight and Company Budget Estimate dated 4.12.18

RECOMMENDATION:

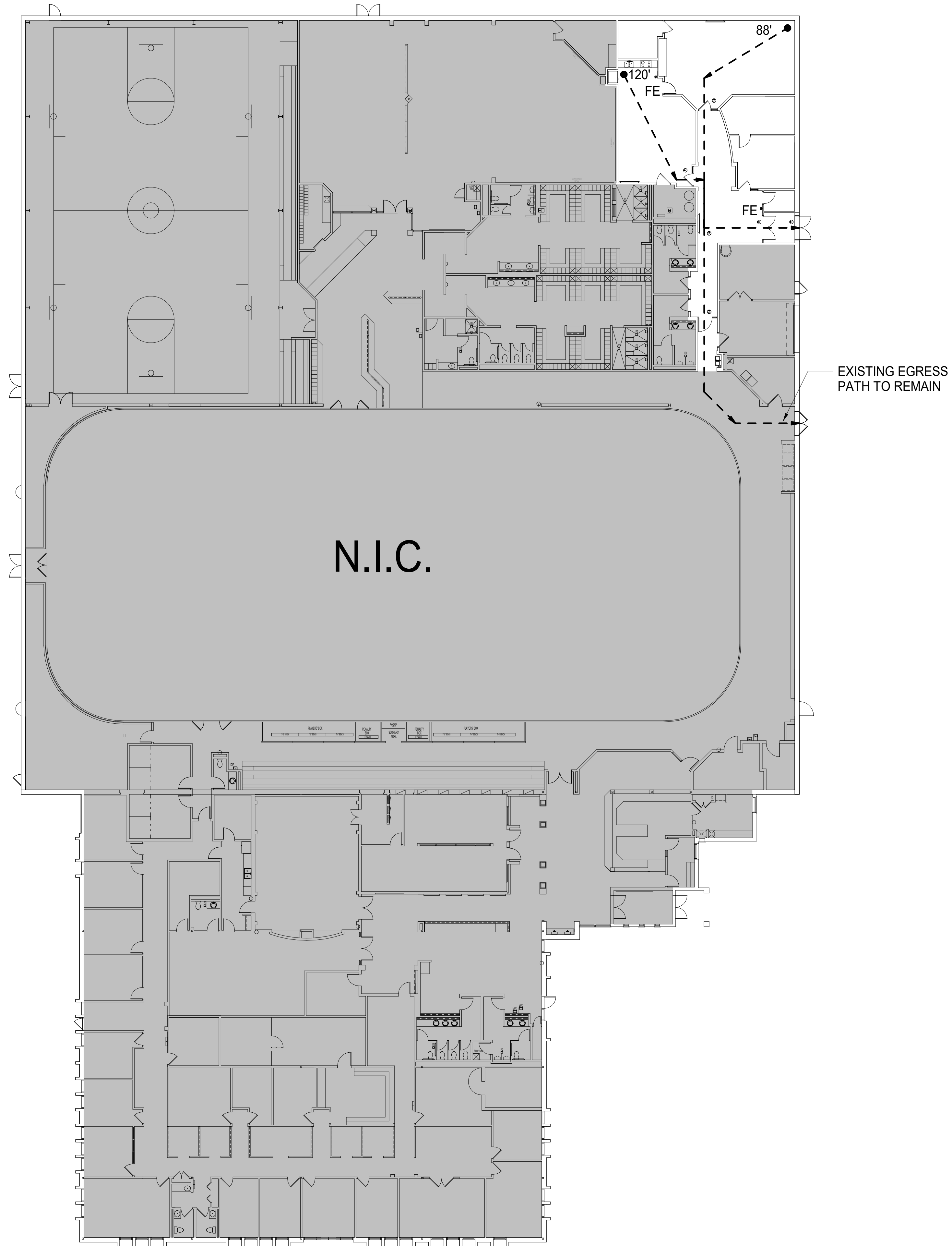
There is no action required by the Board at this time.



Mt. Prospect Park District



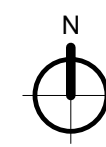
Wight & Company
wightco.com
211 North Clinton Street
Suite 300N
Chicago, IL 60661
P 312.261.5700
F 312.261.5701



EXISTING EGRESS
PATH TO REMAIN

N.I.C.

1 FIRST FLOOR EGRESS PLAN
SCALE: 1/16" = 1'-0"



EGRESS PLAN LEGEND	
NOTE: THIS INTERIOR ALTERATION IS EQUIPPED WITH A FULLY AUTOMATIC FIRE SUPPRESSION SYSTEM AND A CLASS 1 FIRE ALARM SYSTEM	
	EGRESS ROUTE MAXIMUM TRAVEL DISTANCE: 250' (FULLY SPRINKLERED) MAXIMUM PROVIDED: 120'
	NEW / EXISTING FIRE EXTINGUISHER
	ILLUMINATED EXIT SIGN, REFER TO MEP DRAWINGS FOR LOCATIONS
	EXISTING SPACE, NOT IN CONTRACT



ISSUED FOR PERMIT	04.06.2018
100% CD REVIEW	04.04.2018
SCHEMATIC DESIGN REVIEW	03.07.2018
REV	ISSUE DATE

**CCC FACILITY
UPGRADES - 2018**

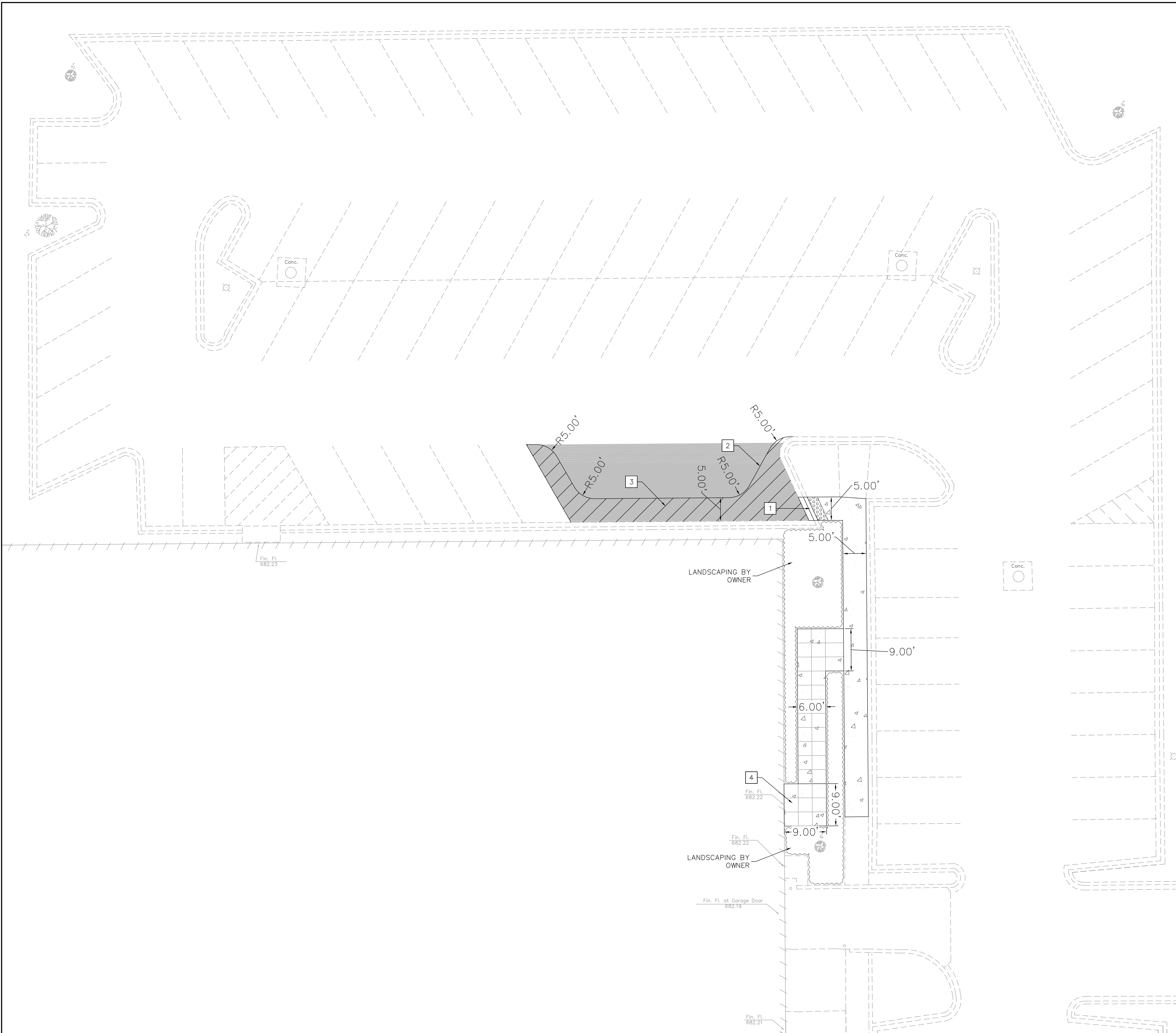
Central Community Center
1000 W. Central Road
Mt. Prospect, IL 60056

**FIRST FLOOR EGRESS
PLAN**

Project Number:
5693-01
Drawn By:
EA
Sheet:

A0.04

S:\Chicago\Mt. Prospect Park District\5693-01_NWSRA Renovation\01_DWG\CD\5693-01_C2.00 SITE PLAN.dwg devans Apr 05, 2018 4:06:39 pm
 Wight © Copyright 2018. All rights reserved. No part of these documents may be reproduced, stored, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Wight.



LEGEND

	SEAL COAT AND RE-STRIPE
	FULL DEPTH HMA AND STONE BASE
	PCC SIDEWALK AND STONE BASE
	PROPOSED SIGN

KEY NOTES

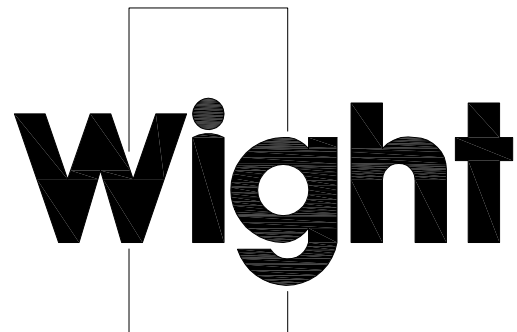
- 1 DEPRESSED B6.12 CURB AND GUTTER AND DETECTABLE WARNINGS
- 2 4" SOLID PARKING STRIPE, TRAFFIC WHITE PAINT
- 3 4" SOLID PARKING STRIPE, 45° ANGLE, TRAFFIC WHITE PAINT
- 4 CONCRETE FROST STOOP, SEE DETAIL

SITE PLAN NOTES

1. ALL EXISTING CURB TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING DEMOLITION SHALL BE REPLACED IN KIND.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADIUS DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
3. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.
4. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE NOTED.

LAYOUT NOTE:

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.



Wight & Company
 wightco.com
 2500 North Frontage Road
 Darien, IL 60561
 P 630.969.7000
 F 630.969.7979

MT PROSPECT PARK DISTRICT
 1000 W CENTRAL ROAD
 MT PROSPECT, IL 60056



David E. Evans

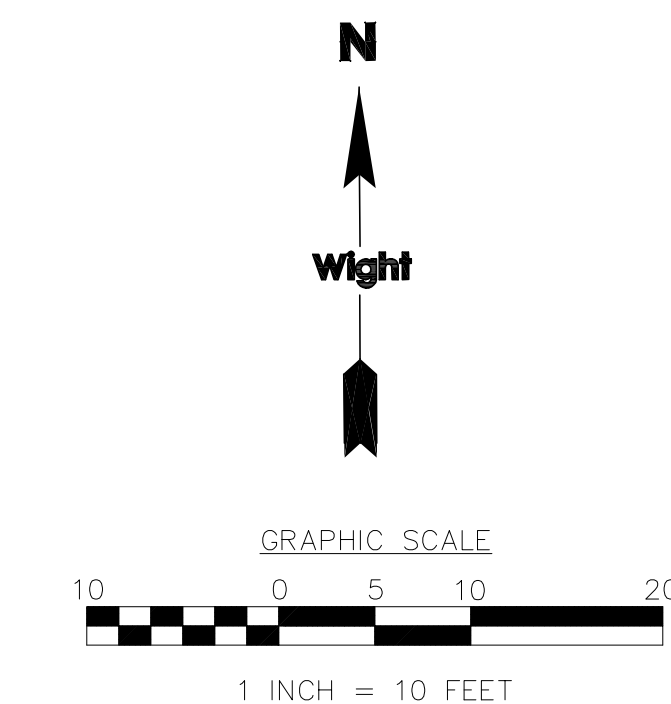
ISSUED FOR PERMIT	04.06.2018	
100% CD REVIEW	04.04.2018	
SCHEMATIC DESIGN REVIEW	03.07.2018	
REV	DESCRIPTION	DATE

CCC FACILITY UPGRADES – 2018

1000 W CENTRAL ROAD
 MT PROSPECT, IL 60056

SITE PLAN

Project Number:
 01-5693-01
 Drawn By:
 DE
 Sheet:



C2.00



Mt. Prospect Park District

Wight

Wight & Company
wightco.com
211 North Clinton Street
Suite 300N
Chicago, IL 60661
P 312.261.5700
F 312.261.5701

GENERAL NOTES

- DEMOLITION WORK REFERENCED IN THIS DOCUMENT IS GENERAL IN SCOPE. PATCH AND REPAIR ALL SURFACES AFFECTED BY DEMOLITION, AS REQUIRED AND RECOMMENDED BY MANUFACTURER TO RECEIVE NEW FINISHES. ALL FLOORS AFFECTED BY DEMOLITION TO BE FLASH PATCHED LEVEL.
- PATCH AND REPAIR ALL WALL SURFACES PRIOR TO PAINTING. ALL WALLS TO BE PAINTED PT-1, U.N.O.
- THE CONTRACTOR SHALL FIELD SURVEY THE SITE OF PROPOSED WORK AND DETERMINE THE NATURE AND EXTENT OF DEMOLITION WORK PRIOR TO THE ONSET OF DEMOLITION.
- PROTECTION SHALL BE PROVIDED BY THE GENERAL CONTRACTOR FOR ALL BASE BUILDING AND EXISTING CONSTRUCTION ITEMS TO REMAIN INCLUDING BUT NOT LIMITED TO FLOORING, PARTITIONS, WINDOW TREATMENTS, BASEBOARD, CONNECTORS, DOORS, FRAMES, SOFFITS AND FINISHES.
- WHERE PARTITIONS ARE BEING REMOVED, ALL ELECTRICAL DEVICES SHALL BE DISCONNECTED AT THEIR SUPPLY U.N.O.
- WHERE PARTITIONS ARE BEING REMOVED, THERMOSTATS AND SWITCHES SHALL BE REMOVED, STORED AND RELOCATED AS INDICATED ON THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE ALL DEMOLITIONS AS MAY BE REQUIRED FOR ELECTRICAL AND MECHANICAL ACCESS FOR THE REMOVAL OF EXISTING DUCT WORK OR CONDUIT AS REQUIRED AND THE INSTALLATION OF NEW MATERIALS AS INDICATED IN THE CONTRACT DOCUMENTS.
- REFER TO SHEET A6.01 FOR PARTITION TYPES, INTERIOR DETAILS & INTERIOR ELEVATIONS.
- REFER TO SHEET A9.01 FOR DOOR AND HARDWARE SCHEDULE.
- ALL DIMENSIONS ARE TO CENTER LINE OF COLUMNS OR FACE OF WALLS U.N.O.
- ALL ITEMS NOTED AS "BY OTHERS" OR "BY OWNER" ARE TO BE COORDINATED WITH NEW CONSTRUCTION BY THE GENERAL CONTRACTOR.
- DO NOT SCALE THESE DRAWINGS.
- ALL PARTITIONS TO BE CENTERED ON BASE BUILDING COLUMN LINES, MULLION CENTER LINES, OR ALIGNED WITH THE EDGE OF EXISTING COLUMNS OR WALLS U.N.O.
- REFER TO SHEET A9.01 FOR DIMENSIONS NOT INDICATED ON PLAN DRAWINGS.
- ARCHITECTURAL DOCUMENTS TAKE PRECEDENCE OVER ENGINEERING DOCUMENTS FOR PLACEMENT OF LIGHT FIXTURES.
- ALL THERMOSTAT POSITIONS TO BE COORDINATED WITH ARCHITECT BEFORE PLACEMENT.
- ALL MULTIPLE SWITCH LOCATIONS TO BE GROUPED TOGETHER WITH A SINGLE DEVICE COVER PLATE.
- RECEPTACLE DEVICE AND COVER, HEIGHT, ORIENTATION AND FINISH TO MATCH EXISTING.
- THE CONTRACTOR SHALL EXAMINE ALL WALL SURFACES AND PROVIDE ANY TOUCH-UP PAINTING AND PATCHING UPON COMPLETION OF ALL TRADES OF WORK.
- ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR THE PARTICULAR SPACE.
- GENERAL CONTRACTOR IS TO COORDINATE THE AMOUNT AND STORED LOCATION OF ATTIC STOCK MATERIALS WITH THE OWNER.
- ALL DEBRIS SHALL BE REMOVED AND SPACE VACCUUMED CLEAN UPON COMPLETION OF JOB.
- ALL FINISH SAMPLES SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDER PLACEMENT.
- PROVIDE ALUMINUM TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES. TRANSITION STRIPS TO BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDER PLACEMENT.
- CARPET INSTALLER IS RESPONSIBLE FOR PROVIDING YARDAGE TAKE-OFFS PRIOR TO SUBMITTING BID.

FLOOR PLAN LEGEND

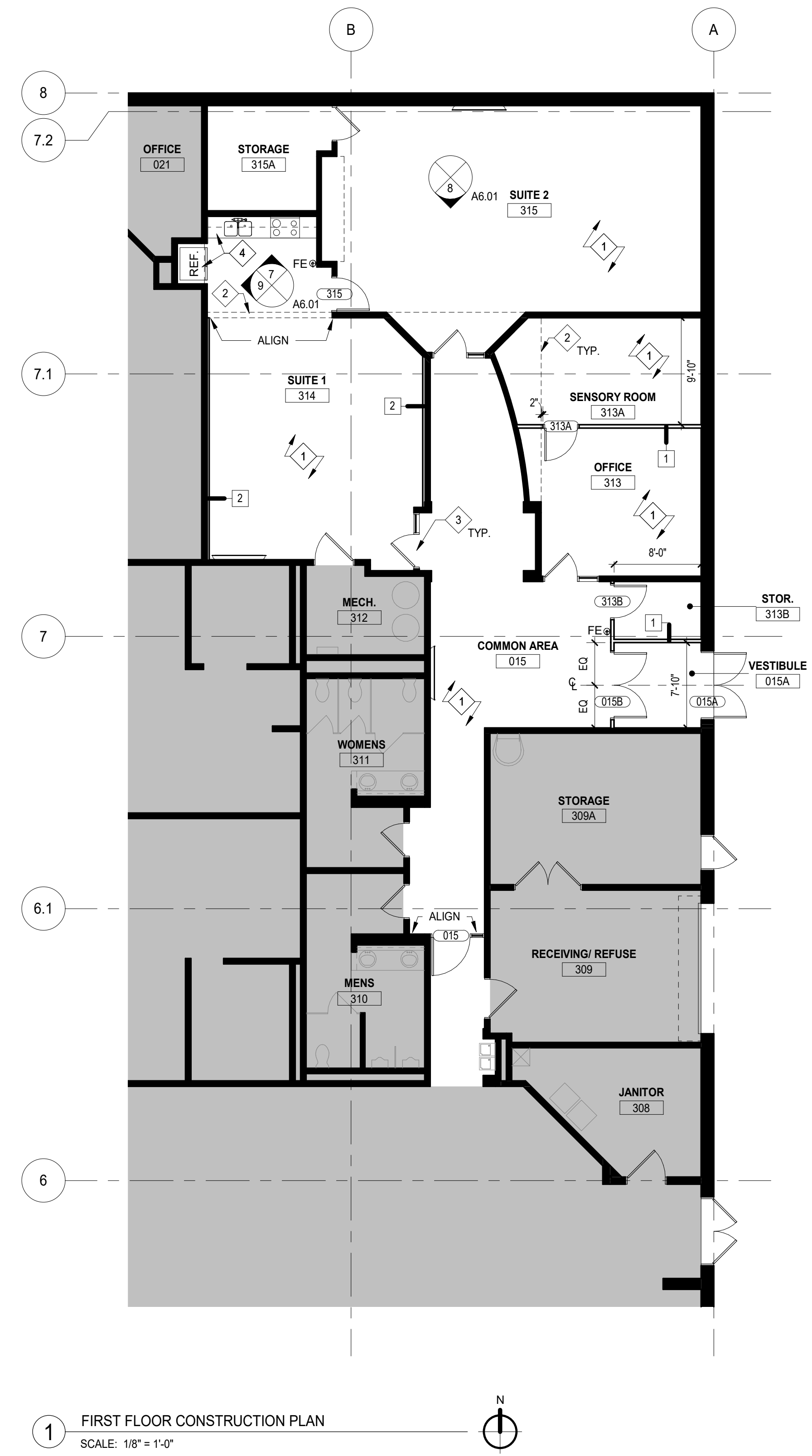
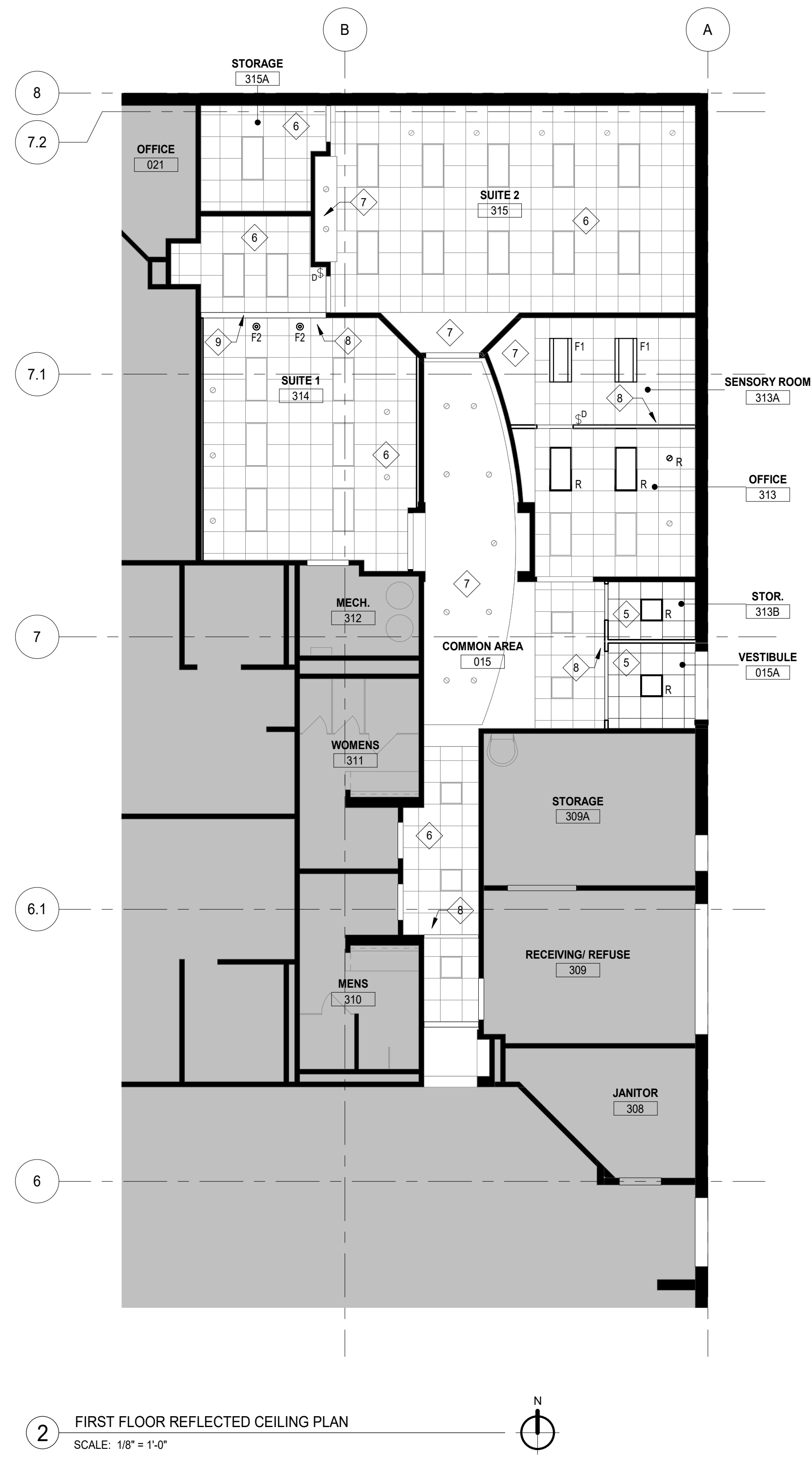
- EXISTING WALL
- NEW WALL
- NEW DOOR/HARDWARE. REFER TO SHEET A9.01 FOR DOOR SCHEDULE
- EXISTING DOOR TO REMAIN. REFER TO SHEET A9.01 FOR DOOR SCHEDULE FOR REQUIRED MODIFICATIONS.
- PARTITION TYPE. REFER TO SHEET A6.01
- DOOR TAG. REFER TO SHEET A9.01 FOR DOOR SCHEDULE
- RELOCATED EXISTING WALL-HUNG FIRE EXTINGUISHER
- NOT IN CONTRACT (N.I.C.)

REFLECTED CEILING PLAN SYMBOL LEGEND

- EXISTING 2X4 RECESSED LIGHT FIXTURE
- EXISTING 2X2 RECESSED LIGHT FIXTURE
- EXISTING RECESSED DOWNLIGHT FIXTURE
- RELOCATED 2X2 RECESSED LIGHT FIXTURE
- RELOCATED RECESSED DOWNLIGHT FIXTURE
- NEW 2X4 RECESSED LIGHT FIXTURE
MANUF.: COLUMBIA LIGHTING
MODEL: LCAT24-X-35-XX-G
- NEW PENDANT LIGHT FIXTURE
MANUF.: OXYGEN LIGHTING
MODEL: 3-6202-24 RUVO PENDANT
NOTE: FIXTURE TO BE ON NEW DIMMER SWITCH
COORDINATE LOCATION IN FIELD WITH OWNER
- 2' x 2' ACOUSTICAL CEILING SYSTEM
MATCH EXISTING ADJACENT
- SWITCH, VERIFY LOCATION WITH OWNER
- DIMMER SWITCH, VERIFY LOCATION WITH OWNER

KEYNOTES

- PREPARE FLOOR AREA THROUGHOUT TO RECEIVE NEW FINISHES.
- LINE OF GYPSUM BOARD SOFFIT ABOVE. REFER TO REFLECTED CEILING PLAN.
- EXISTING DOOR AND SIDELIGHT TO REMAIN.
- MILLWORK COUNTERS WITH BASE AND UPPER CABINETS - SEE SHEET A6.01.
- CENTER ACOUSTIC CEILING TILE AND GRID IN ROOM/AREA AS SHOWN.
- EXISTING ACOUSTIC CEILING TILE, GRID AND LIGHT FIXTURES TO REMAIN.
- EXISTING GYPSUM BOARD CEILING AND LIGHT FIXTURES TO REMAIN.
- REPAIR/REPLACE EXISTING ACOUSTIC CEILING TILE AND GRID AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- NEW GYPSUM BOARD HEADER, BOTTOM TO BE 1" BELOW LOWEST ADJACENT CEILING



ISSUED FOR PERMIT 04.06.2018
100% CD REVIEW 04.04.2018
SCHEMATIC DESIGN REVIEW 03.07.2018
REV ISSUE DATE

CCC FACILITY UPGRADES - 2018

Central Community Center
1000 W. Central Road
Mt. Prospect, IL 60056

FIRST FLOOR PLANS

Project Number:
5693-01
Drawn By:
EA
Sheet:

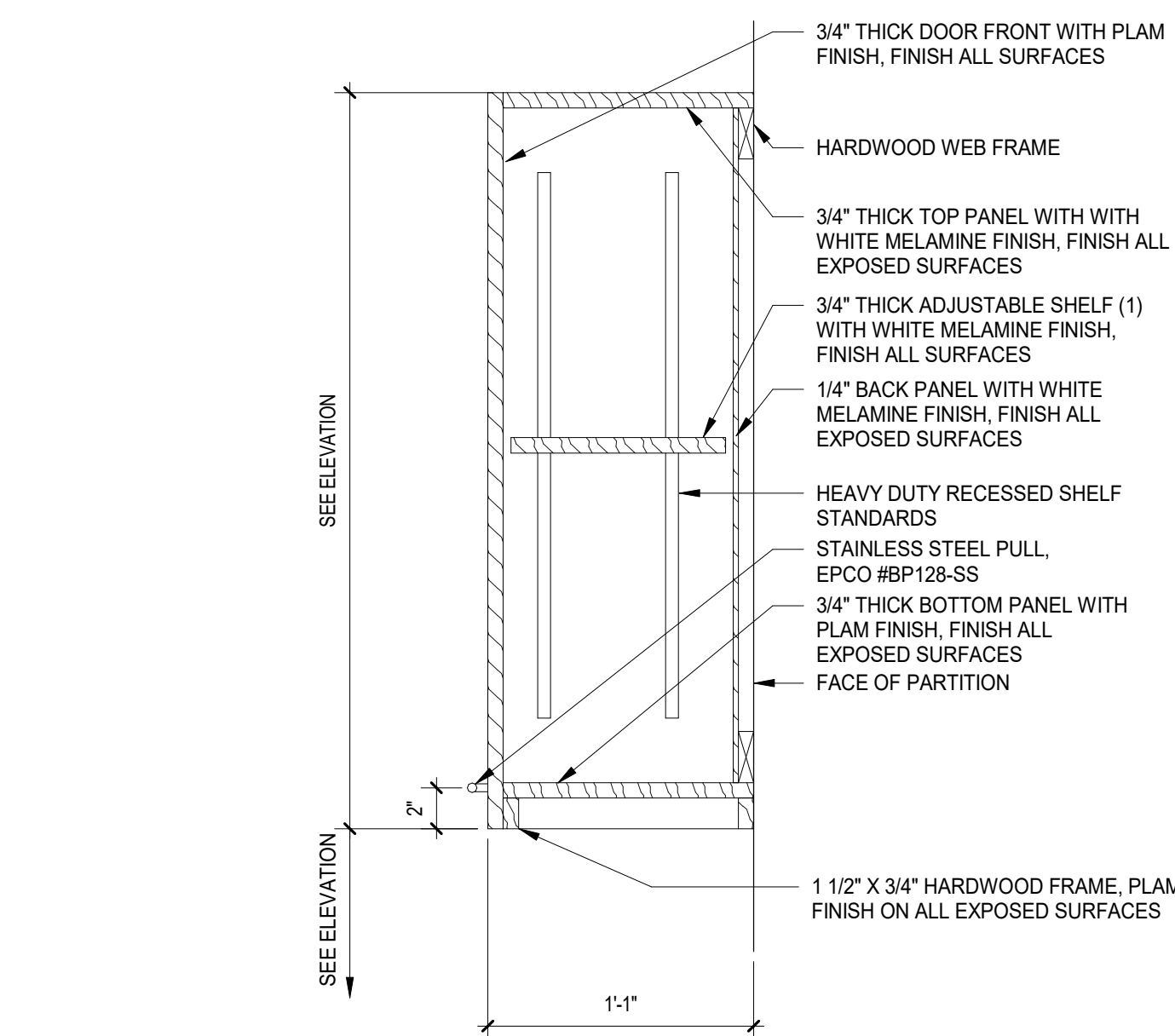
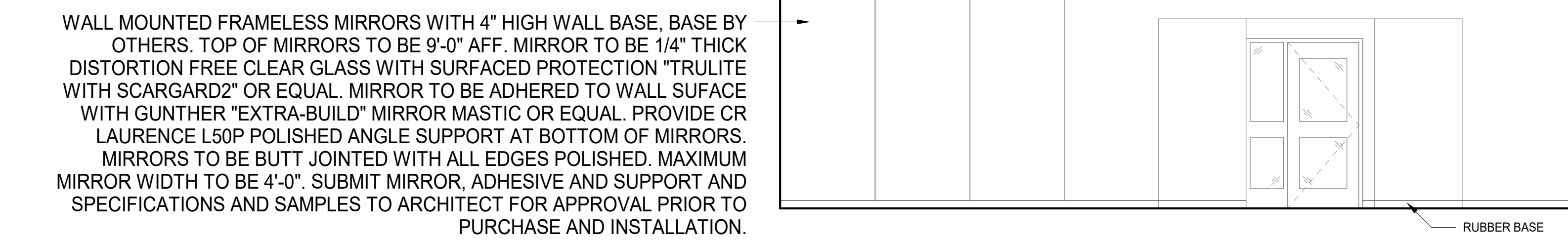
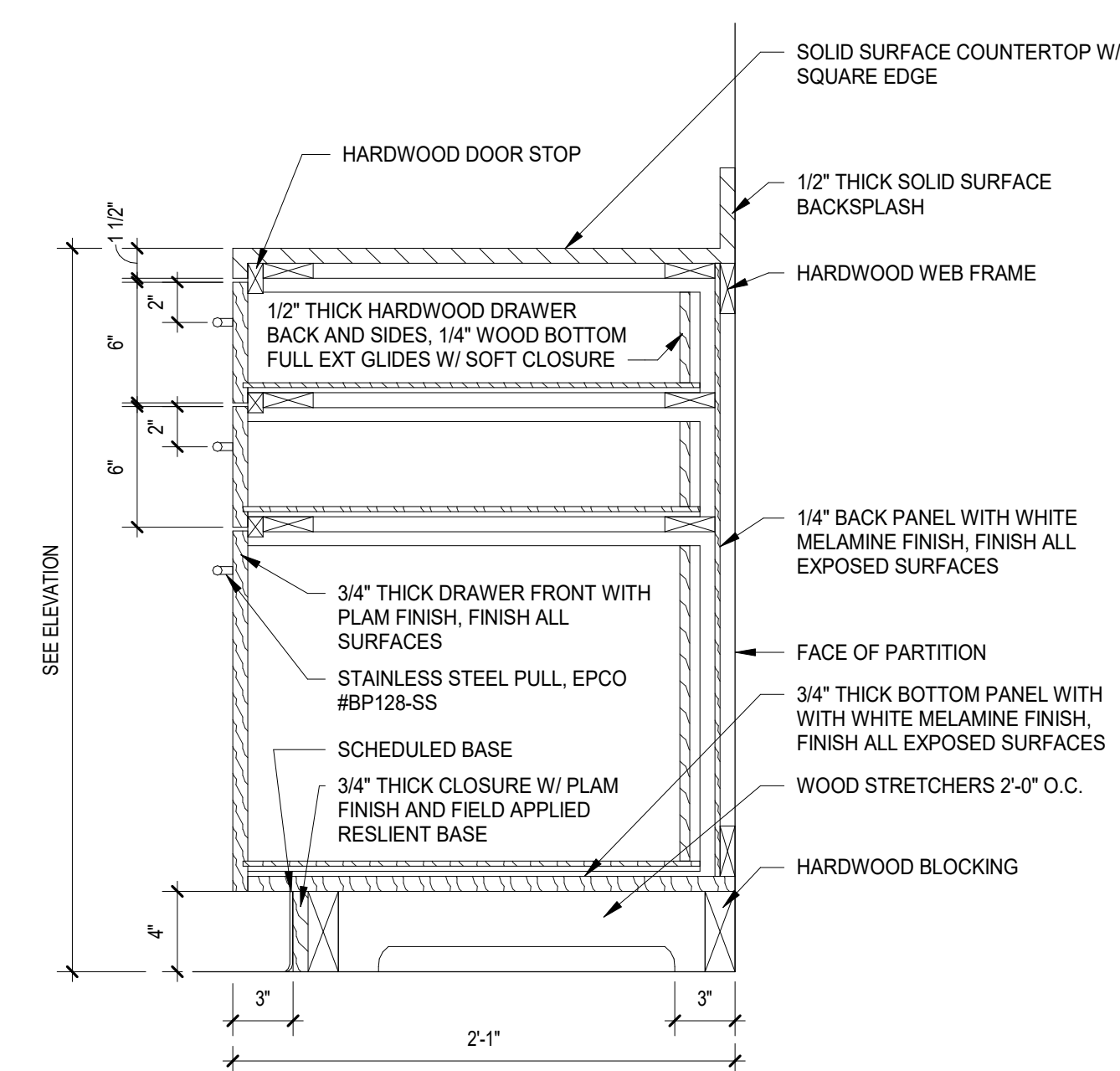
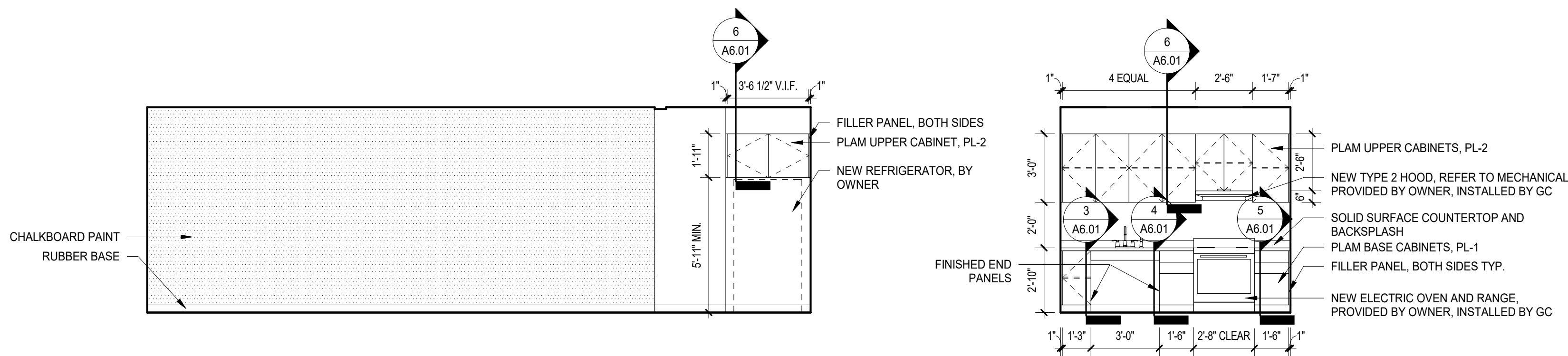
A1.01



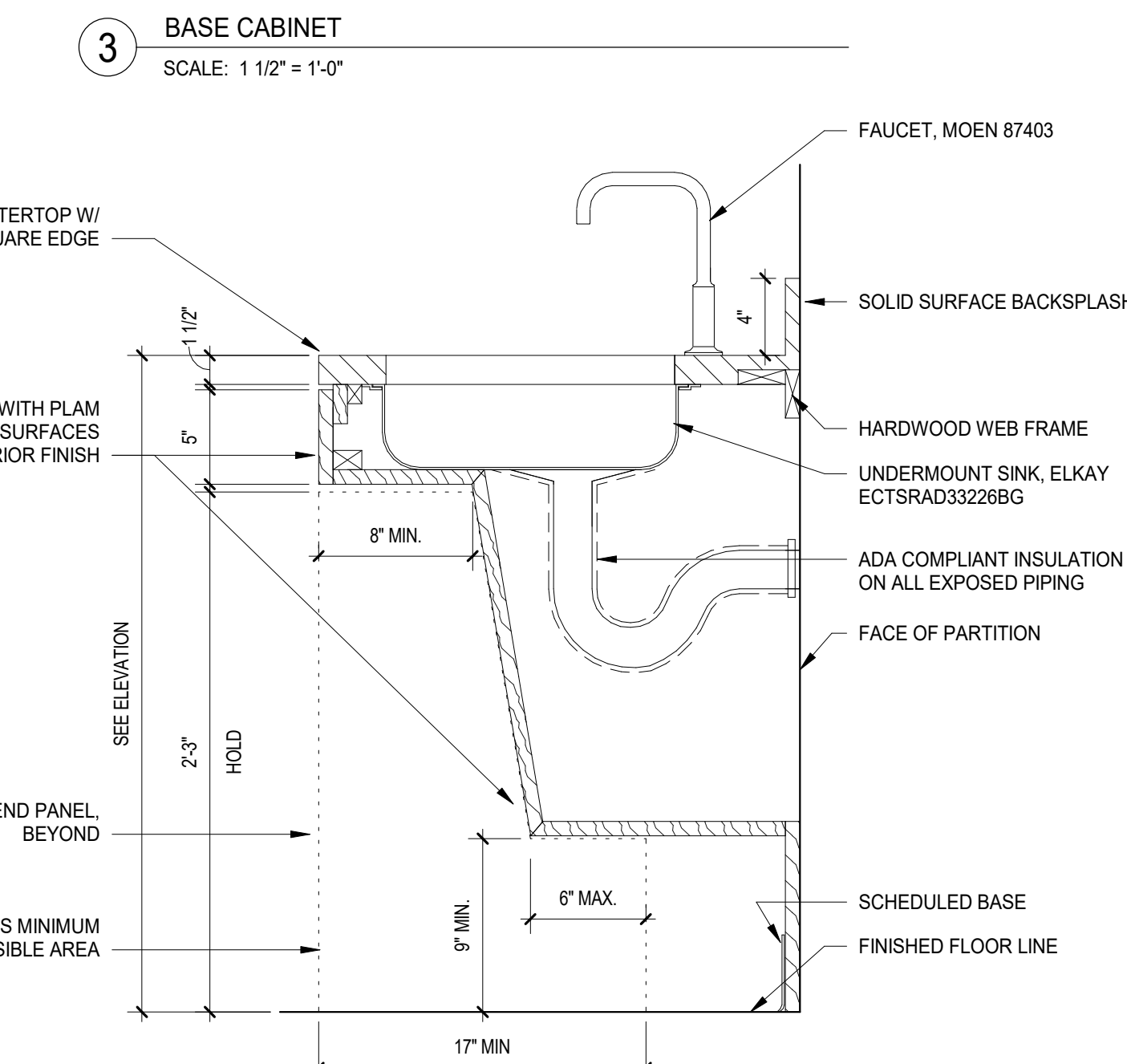
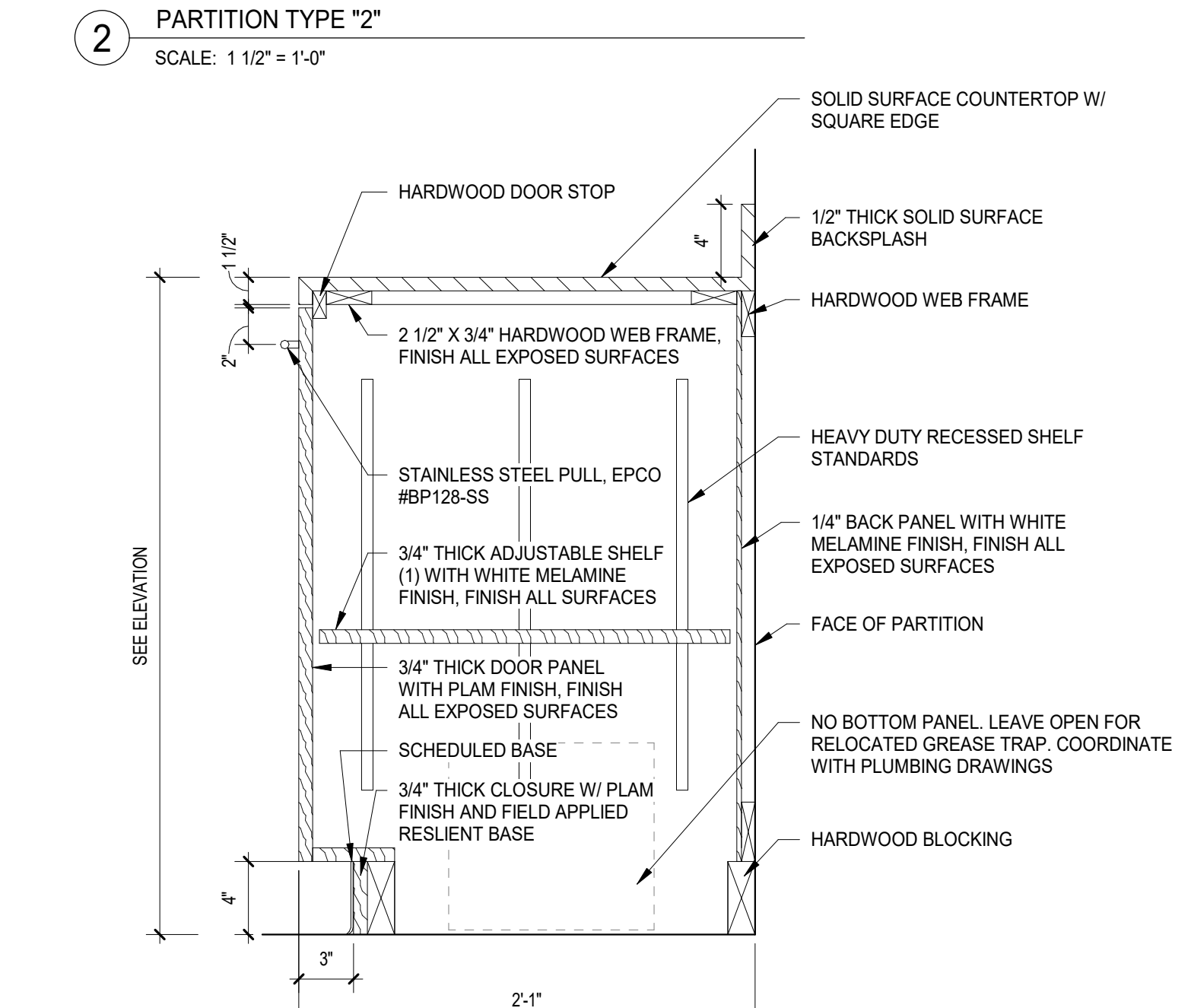
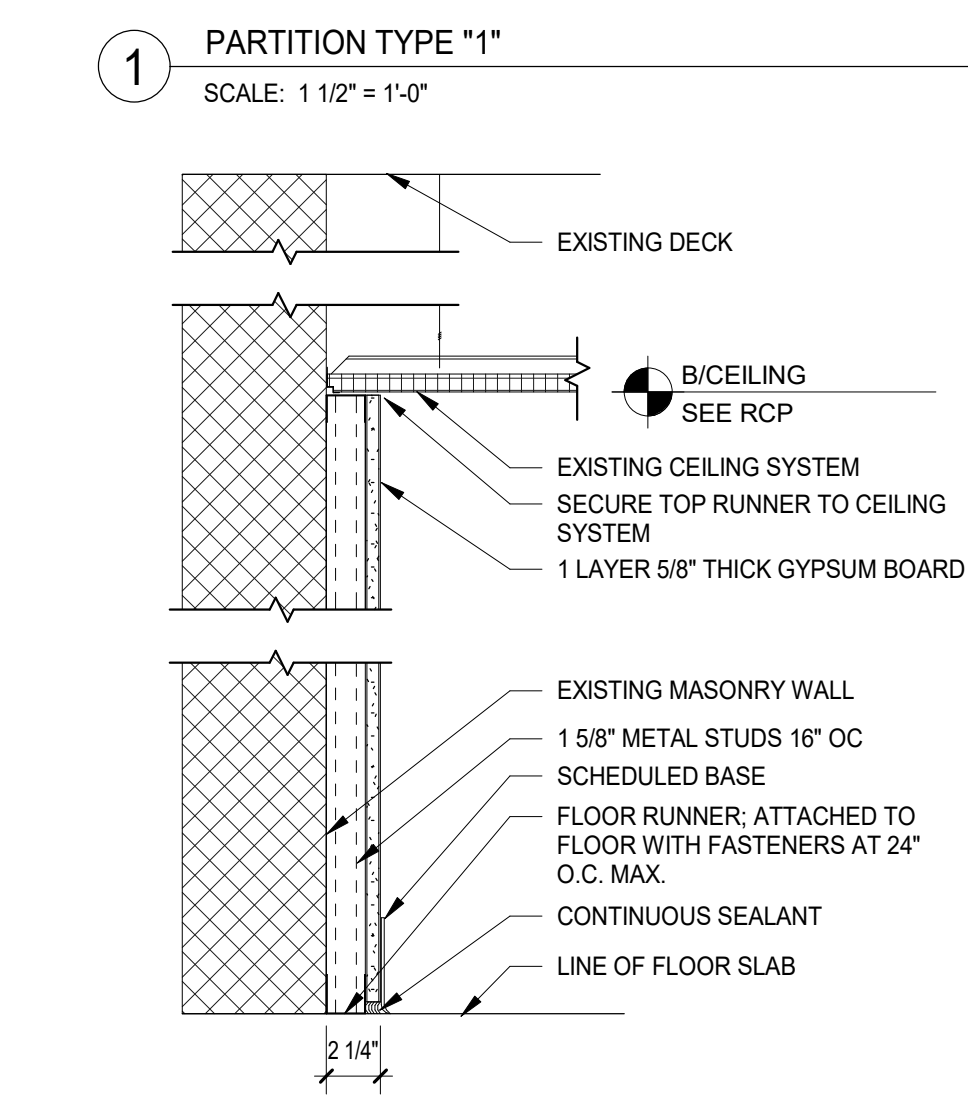
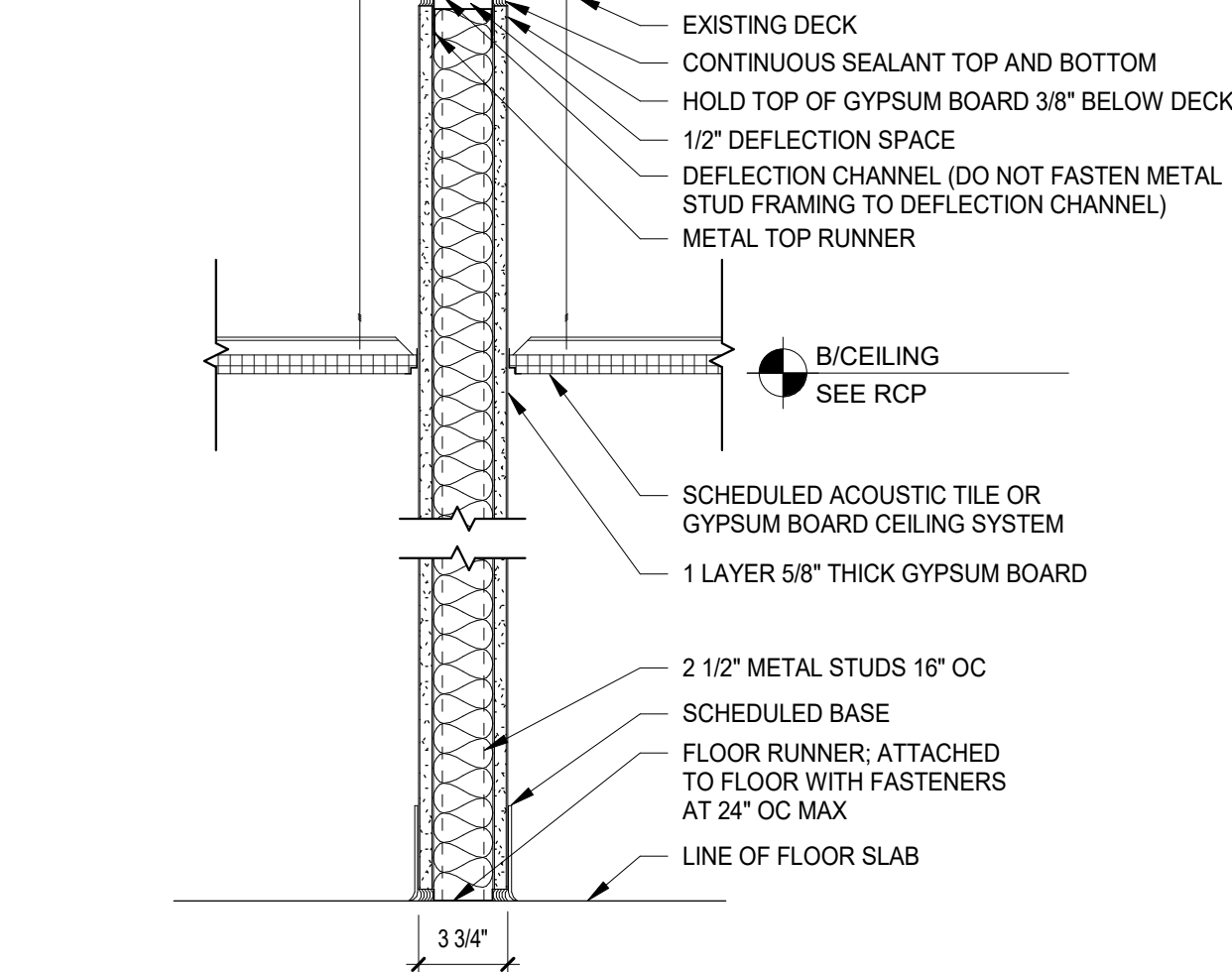
Mt. Prospect Park District

Wight

Wight & Company
wightco.com
211 North Clinton Street
Suite 300N
Chicago, IL 60661
P 312.261.5700
F 312.261.5701



WALL MOUNTED FRAMELESS MIRRORS WITH 4" HIGH WALL BASE, BASE BY OTHERS. TOP OF MIRRORS TO BE 9'-0" AFF. MIRROR TO BE 1/4" THICK DISTORTION FREE CLEAR GLASS WITH SURFACED PROTECTION "TRULITE WITH SCARGARD2" OR EQUAL. MIRROR TO BE ADHERED TO WALL SURFACE WITH GUNTHER "EXTRA-BUILD" MIRROR MASTIC OR EQUAL. PROVIDE CR LAURENCE L50P POLISHED ANGLE SUPPORT AT BOTTOM OF MIRRORS. MIRRORS TO BE BUTT JOINTED WITH ALL EDGES POLISHED. MAXIMUM MIRROR WIDTH TO BE 4'-0". SUBMIT MIRROR, ADHESIVE AND SUPPORT AND SPECIFICATIONS AND SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.



NOTE:
PROVIDE MOISTURE RESISTANT SUBSTRATE AT WET AREAS



ISSUED FOR PERMIT	04.06.2018
100% CD REVIEW	04.04.2018
SCHEMATIC DESIGN REVIEW	03.07.2018
REV	ISSUE DATE

CCC FACILITY UPGRADES - 2018

Central Community Center
1000 W. Central Road
Mt. Prospect, IL 60056

PARTITION TYPES, MILLWORK DETAILS AND ELEVATIONS

Project Number:
5693-01
Drawn By:
EA
Sheet:

A6.01



Existing Building Remodel & Site Work

Project Data: Estimate based off issued for bid drawings dated 04/04/2018

Building Square Footage: SF
 Overall Site Area: SF

Hard Construction Costs	Quantity	Unit	Unit Cost	Item Total
Site Work:				
Inlet protection	2	EA	\$300.00	\$600
Tree removal	2	EA	\$500.00	\$1,000
Tree protection	2	EA	\$300.00	\$600
Remove concrete paving	360	SF	\$4.00	\$1,440
Remove concrete curb	1	LS	\$750.00	\$750
Pavement markings	1	LS	\$1,500.00	\$1,500
Sealcoat	845	SF	\$1.50	\$1,268
Concrete paving	685	SF	\$10.00	\$6,850
Concrete depressed curb	5	LF	\$150.00	\$750
ADA tiles (2x3)	1	EA	\$350.00	\$350
Building Demo:				
D1. Demo existing masonry walls. Assumed 10'H	110	SF	\$7.50	\$825
D2 Remove door & frame & salvage Door and hardware	1	EA	\$300.00	\$300
D3 Remove and relocate Wall Hung Fire extinguisher	2	EA	\$150.00	\$300
D4 Demo Existing Millwork	20	LF	\$100.00	\$2,000
D5 Remove Carpet and Base	1,730	SF	\$1.50	\$2,595
D6 Demo flooring per keynote D6 AD2.01	482	SF	\$2.00	\$964
D8 Demo & salvage door, frame & hardware per keynote	1	EA	\$2,500.00	\$2,500
D9 Remove door & salvage Door and hardware	1	EA	\$250.00	\$250
D 11 Remove and salvage existing ACT	265	SF	\$2.00	\$530
Interior Construction:				
Wall type 1. 2 layer gyp, 2- 1/2" MS, insul. Assumed 10'H	410	SF	\$11.00	\$4,510
Wall type 2. 1 layer gyp, 1-5/8" MS, Assumed 10'H	358	SF	\$8.00	\$2,864
Lintel & Patch Masonry for new Double Door	1	LS	\$2,500.00	\$2,500
Alum/Glass Double Door with Push Button Operators	2	EA	\$7,500.00	\$15,000
Single wood door w/ frame & hardware	2	EA	\$1,400.00	\$2,800
Single Alum/Glass w/ frame & reuse hardware	1	EA	\$2,500.00	\$2,500
Millwork:				
Base cabinets w/ top room 112	10	LF	\$350.00	\$3,500
Upper cabinets room 002	12	LF	\$250.00	\$3,000
Floor Finishes:				
CPT-1	170	SF	\$6.50	\$1,105
CPT-2	65	SF	\$8.00	\$520
Rubber base	386	LF	\$2.50	\$965
LVT-1	2,000	SF	\$5.50	\$11,000
Floor Prep	2,235	SF	\$3.00	\$6,705



Existing Building Remodel & Site Work

Wall Finishes:				
Paint walls. Assumed 9'H	3,667	SF	\$2.00	\$7,334
PT -4	220	SF	\$6.50	\$1,430
MPT 1	140	SF	\$6.00	\$840
Mirrors	100	SF	\$45.00	\$4,500
Ceiling Finishes:				
Restore ceiling tile & grid at areas w/ new walls	265	SF	\$5.50	\$1,458
Specialties:				
Install salvaged Fire Extinguishers	2	EA	\$150.00	\$300
Fire Protection:				
Relocate Head's (Allowance)	1	LS	\$5,000.00	\$5,000
HVAC:				
Demo 2 diffusers and relocate duct	1	LS	\$5,000.00	\$5,000
Extend 3 new ducts & diffusers	1	LS	\$7,500.00	\$7,500
Plumbing:				
New sink	1	EA	\$3,500.00	\$3,500
Relocate Grease Trap	1	EA	\$2,500.00	\$2,500
Electrical:				
Demo Lighting Fixtures	8	EA	\$250.00	\$2,000
Install relocated Fixtures	4	EA	\$400.00	\$1,600
New 2x4	2	EA	\$550.00	\$1,100
New LED lighting Pendant	2	EA	\$750.00	\$1,500
New Power and Data	6	EA	\$1,500.00	\$9,000
New GFI receptacle	2	EA	\$750.00	\$1,500
Misc. Electrical Connections	1	LS	\$5,000.00	\$5,000
Subtotal - Remodel				\$143,400
General Conditions			15%	\$21,600
Phasing cost. EXCLUDED			(Not anticipated)	\$0
Hard Cost Subtotal				\$165,000
Soft / Other Owner Costs / Allowances/Contingency				Item Total
Bid Contingency			12%	\$19,800
CM Fee/GC Cost			5%	\$9,240
A/E Fee, Permits, Reimbursables, Etc.			10%	\$19,404
Subtotal				\$48,400
Project Total				\$213,400

Alternate Add
 Provide Video/Audio Intercom System within 015A vestibule. \$5,500

**MOUNT PROSPECT PARK DISTRICT
YTD SUMMARY - ALL FUNDS**

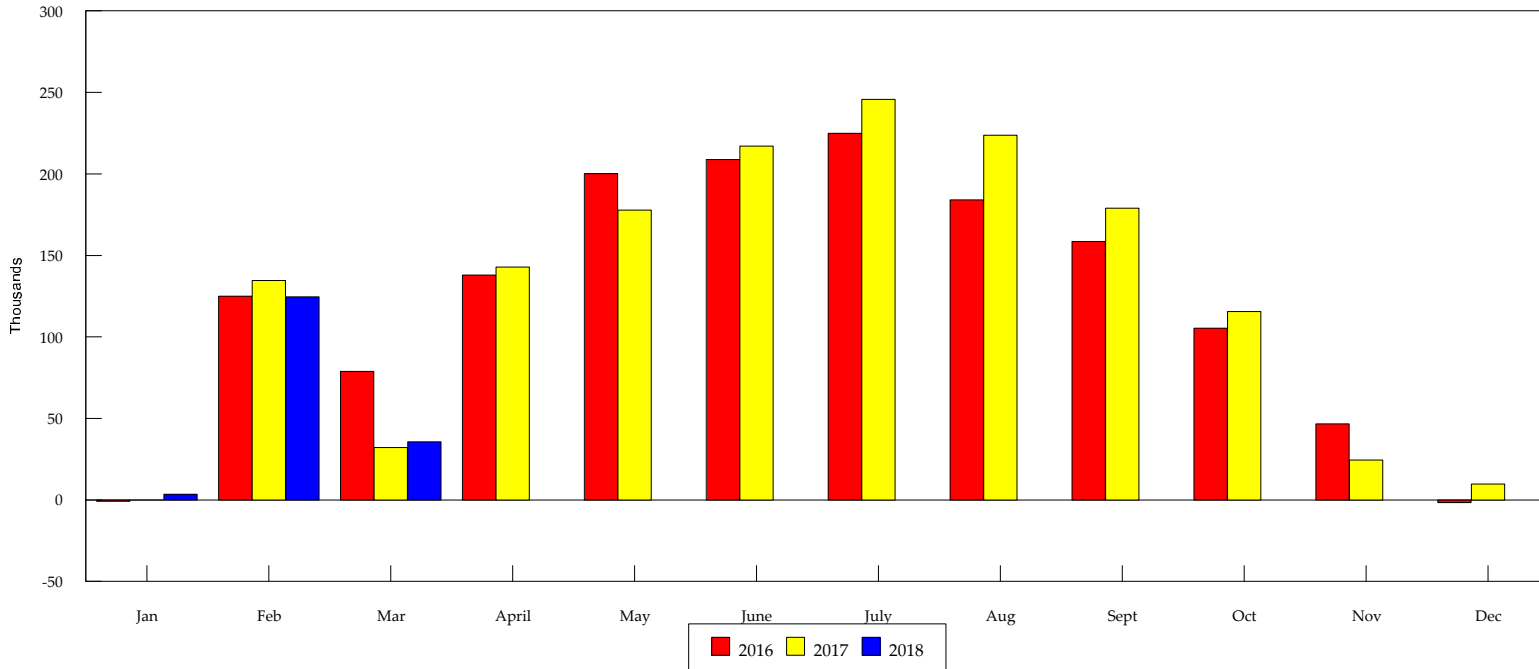
For the Month Ended 3/31/18

ACCOUNT NAMES	2017	2018	2018	Actual vs. Last Yr.	
	Actual	Actual	Budget	\$ Change	% Change
BALANCE, Beginning - January 1	6,317,484	5,880,597	Operating +Capital	Increase (Decrease)	
REVENUES:					
PROPERTY TAXES	5,194,222	5,101,789	10,135,821	(92,433)	-1.8%
REPLACEMENT TAXES	41,116	31,200	130,000	(9,916)	-24.1%
RENTAL	67,596	85,136	761,328	17,540	25.9%
PASSES /USER FEES	299,582	306,259	860,745	6,677	2.2%
DAILY /USER FEES	57,839	48,413	1,208,345	(9,426)	-16.3%
PROGRAM FEES	1,078,351	1,109,692	3,807,852	31,341	2.9%
CONCESSION SALES	17,013	11,699	224,874	(5,314)	-31.2%
CORP SPONSORS & GRANTS	500	6,325	30,500	5,825	1165.0%
OTHER	25,521	24,174	53,626	(1,347)	-5.3%
INTEREST	2,606	2,128	1,040	(478)	-18.3%
INT PROJ CHARGES	145,007	90,320	350,717	(54,687)	-37.7%
BOND PROCEEDS - New Capital	0	0	1,100,000	0	n/a
BOND PROCEEDS - Refinancing	0	0	1,815,190	0	n/a
TOTAL REVENUE	6,929,353	6,817,135	20,480,038	(112,218)	-1.6%
EXPENDITURES:					
FULL TIME SALARIES	781,926	796,825	3,644,092	14,899	1.9%
PART TIME SALARIES	516,222	468,954	2,714,758	(47,268)	-9.2%
EMPLOYEE BENEFITS	444,303	465,850	1,550,199	21,547	4.8%
CONTRACTUAL SERVICES	308,396	314,275	1,523,343	5,879	1.9%
COMMODITIES	198,977	186,932	1,141,186	(12,045)	-6.1%
CONCESSIONS	18,857	21,836	109,138	2,979	15.8%
UTILITIES	167,007	157,301	883,041	(9,706)	-5.8%
INSURANCE	4,691	613	420,560	(4,078)	-86.9%
NW SPECIAL REC	169,049	174,853	432,567	5,804	3.4%
RETIREMENT	271,810	209,548	1,312,968	(62,262)	-22.9%
SALES TAX	498	735	16,112	237	47.6%
DEBT SERVICE:					
BONDS - Short Term	0	0	3,043,945	0	n/a
BONDS - Long Term - Refinanced	0	0	1,815,190	0	n/a
CAPITAL PROJECTS:					
FROM BOND FUNDS - New Capit.	0		100,000	0	
FROM BOND FUNDS - Carryover	338,737	216,470	1,259,985	(122,267)	-36.1%
ACCESSIBILITY - ADA	0	0	950,000	0	n/a
PAV & LIGHT FUND	0	0	84,399	0	n/a
TOTAL EXPENDITURE	3,220,473	3,014,192	21,001,483	(206,281)	-6.4%
REVENUE OVER (UNDER)	3,708,880	3,802,943	(521,445)	94,063	
BALANCE, Ending	10,026,364	9,683,540			

MT PROSPECT PARK DISTRICT GOLF COURSE MONTHLY RECEIPTS

Revenue Recap by yr:

2016			2017			2018					
	<u>Month</u>	<u>YTD</u>		<u>Month</u>	<u>YTD</u>		<u>Month</u>	<u>YTD</u>	<u>YTD</u>	<u>Annual</u>	
									<u>Actual</u>	<u>Budget</u>	
Jan	(916)	(916)	Jan	0	0	Jan	3,499	3,499			
Feb	125,058	124,142	Feb	134,645	134,645	Feb	124,678	128,177	Revenue	163,831	1,577,565
Mar	78,883	203,025	Mar	32,219	166,864	Mar	35,654	163,831	Expenditures		
April	137,927	340,952	April	142,799	309,663	April	0	0	Full Time	143,039	605,048
May	200,176	541,128	May	177,872	487,534	May	0	0	Part Time	14,597	326,291
June	208,816	749,944	June	217,140	704,674	June	0	0	Benefits	80,537	246,721
July	224,822	974,766	July	245,693	950,367	July	0	0	Commodities	44,386	241,861
Aug	184,166	1,158,932	Aug	223,766	1,174,134	Aug	0	0	Contractual	13,350	97,380
Sept	158,598	1,317,530	Sept	179,076	1,353,209	Sept	0	0	Utilities	28,508	88,065
Oct	105,319	1,422,850	Oct	115,651	1,468,860	Oct	0	0		324,417	1,605,366
Nov	46,736	1,469,586	Nov	24,488	1,493,349	Nov	0	0	Net	(160,586)	(27,801)
Dec	(1,611)	1,467,975	Dec	9,791	1,503,140	Dec	0	0			
Budget		1,602,000			1,556,500			1,577,565			



This Year Vs Last Two Years

**MT PROSPECT PARK DISTRICT
DEPARTMENTAL EXPENDITURE ANALYSIS
FOR THE 3 MONTHS ENDED 3-31-18**

25% OF CALENDAR YEAR

FUND / Department	'18 Y.T.D. Actual	2018 Budget	Y.T.D. as % of '18 Budget	'17 Y.T.D. Actual	Y.T.D. % of '17 Y.T.D.	Projected 2018	Proj % of '18 Bud	% Inc '18 Bud Over '17 Bud
GENERAL FUND								
Administration	196,680	950,797	21%	219,843	89%	926,545	97%	0%
Maintenance	212,378	923,393	23%	197,304	108%	855,448	93%	11%
Motor Pool	54,955	307,895	18%	49,248	112%	247,424	80%	-1%
Buildings	49,532	221,755	22%	44,721	111%	208,334	94%	13%
Studio at Melas	5,181	22,480	23%	5,818	n/a	17,057	76%	7%
Total	518,727	2,426,320	21%	516,933	100%	2,256,603	93%	5%
RECREATION FUND								
Administration	240,144	1,006,581	24%	251,846	95%	908,111	90%	-7%
Big Surf	50,058	323,725	15%	49,908	100%	303,332	94%	2%
Meadows Pool	9,447	200,241	5%	10,905	87%	199,155	99%	-1%
Recplex Pool	127,477	537,112	24%	137,361	93%	548,564	102%	-3%
Golf Course	324,417	1,605,366	20%	339,127	96%	1,495,556	93%	1%
Concessions	11,402	134,791	8%	9,668	118%	110,812	82%	-9%
Lions Center	36,354	183,257	20%	42,985	85%	165,017	90%	-2%
Recplex Center	199,418	1,074,190	19%	219,188	91%	975,287	91%	8%
Ice Arena	90,129	262,235	34%	57,078	158%	331,769	127%	36%
Rec Programs	360,003	1,688,772	21%	320,934	112%	1,751,479	104%	2%
Central Programs	8,113	100,320	8%	9,497	85%	85,427	85%	-22%
Central Road	146,444	616,221	24%	152,622	96%	557,077	90%	-3%
Total	1,603,406	7,732,811	21%	1,601,119	100%	7,413,086	96%	1%

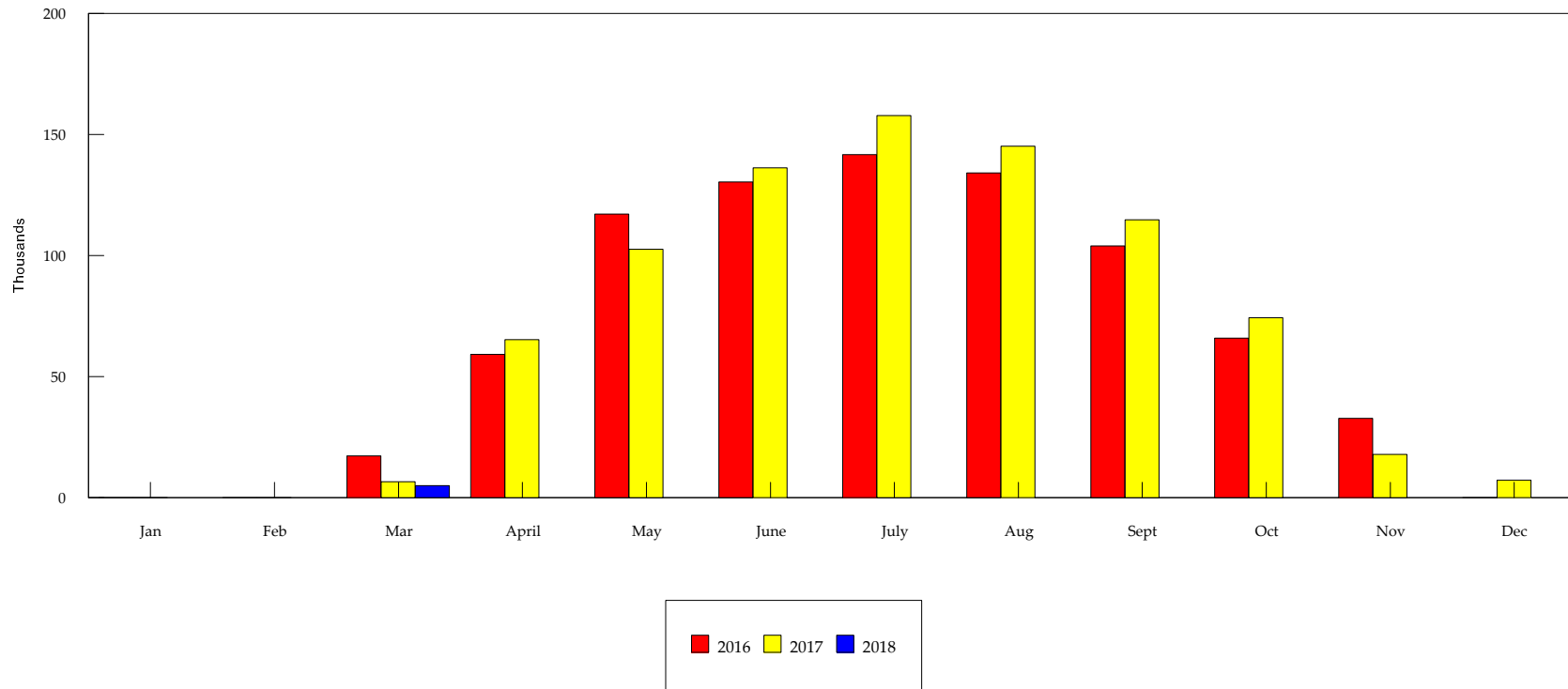
**MOUNT PROSPECT PARK DISTRICT
GOLF COURSE Department by Function
For Three Months Ended 3-31-18**

ACCOUNT NAMES	TOTALS	ADMIN/ PRO SHOP	MAINT.	MERCH SALES	DRIVING RANGE	LESSONS	EVENTS	GOLF COMMUNITY CENTER
REVENUES:								
RENTAL	2,252	2,252						
PASSES /USER FEES	145,640	145,640						
DAILY /USER FEES	12,114	11,812			302			
PROGRAM FEES	6,896	980				5,916		
MERCHANDISE SALES	1,110			1,110				
OTHER	(4,181)	(4,181)						
SPONSORSHIPS	-							
TOTAL REVENUE	<u>163,831</u>	<u>156,503</u>	-	<u>1,110</u>	<u>302</u>	<u>5,916</u>	-	-
% of Budget	10%	12%	n/a	2%	0%	9%	0%	n/a
EXPENDITURES:								
FULL TIME SALARIES	143,039	82,949	45,959					14,132
PART TIME SALARIES	14,597	2,048	10,398	-				2,151
FRINGE BENEFITS	80,537	27,847	42,719					9,971
CONTRACTUAL SERVICES	13,350	8,040	1,559					3,751
COMMODITIES	24,817	2,684	16,154		4,683			1,295
MERCHANDISE	19,558			19,558				
UTILITIES	28,508	7,004	11,698					9,806
SALES TAX	12			12				
TOTAL EXPENDITURES	<u>324,417</u>	<u>130,571</u>	<u>128,486</u>	<u>19,570</u>	<u>4,683</u>	-	-	<u>41,106</u>
% of Budget	20%	22%	18%	39%	69%	0%	0%	25%
REVENUE OVER(UNDER) EXP	<u>(160,586)</u>	<u>25,932</u>	<u>(128,486)</u>	<u>(18,460)</u>	<u>(4,381)</u>	<u>5,916</u>	-	<u>(41,106)</u>
CHANGE FROM LAST YR + (-)								
REVENUE	(3,032)	916	-	(1,152)	(2,467)	(330)	-	-
EXPENDITURES	(14,710)	3,323	(25,976)	4,006	522	(2,078)	-	5,493
NET	<u>11,677</u>	<u>(2,406)</u>	<u>25,976</u>	<u>(5,158)</u>	<u>(2,989)</u>	<u>1,748</u>	-	<u>(5,493)</u>
% CHANGE FROM LAST YEAR								
REVENUE	(2)	1	n/a	(51)	(89)	(5)	n/a	n/a
EXPENDITURES	(4)	3	(17)	26	13	(100)	n/a	15

MT PROSPECT PARK DISTRICT
GOLF COURSE
Greens Fees Sales

Revenue Recap by yr:

	2016		2017		2018			
	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>		
Jan	0	0	Jan	0	Jan	0	'16Budget	850,000
Feb	0	0	Feb	0	Feb	0	'17Budget	800,000
Mar	17,263	17,263	Mar	6,580	Mar	4,984	'18Budget	832,500
April	59,254	76,517	April	65,371	April	0		
May	117,207	193,724	May	102,629	May	0		
June	130,510	324,235	June	136,328	June	0		
July	141,741	465,975	July	157,909	July	0		
Aug	134,182	600,158	Aug	145,244	Aug	0		
Sept	103,979	704,137	Sept	114,778	Sept	0		
Oct	65,889	770,025	Oct	74,430	Oct	0		
Nov	32,864	802,889	Nov	17,890	Nov	0		
Dec	0	0	Dec	7,249	Dec	0		

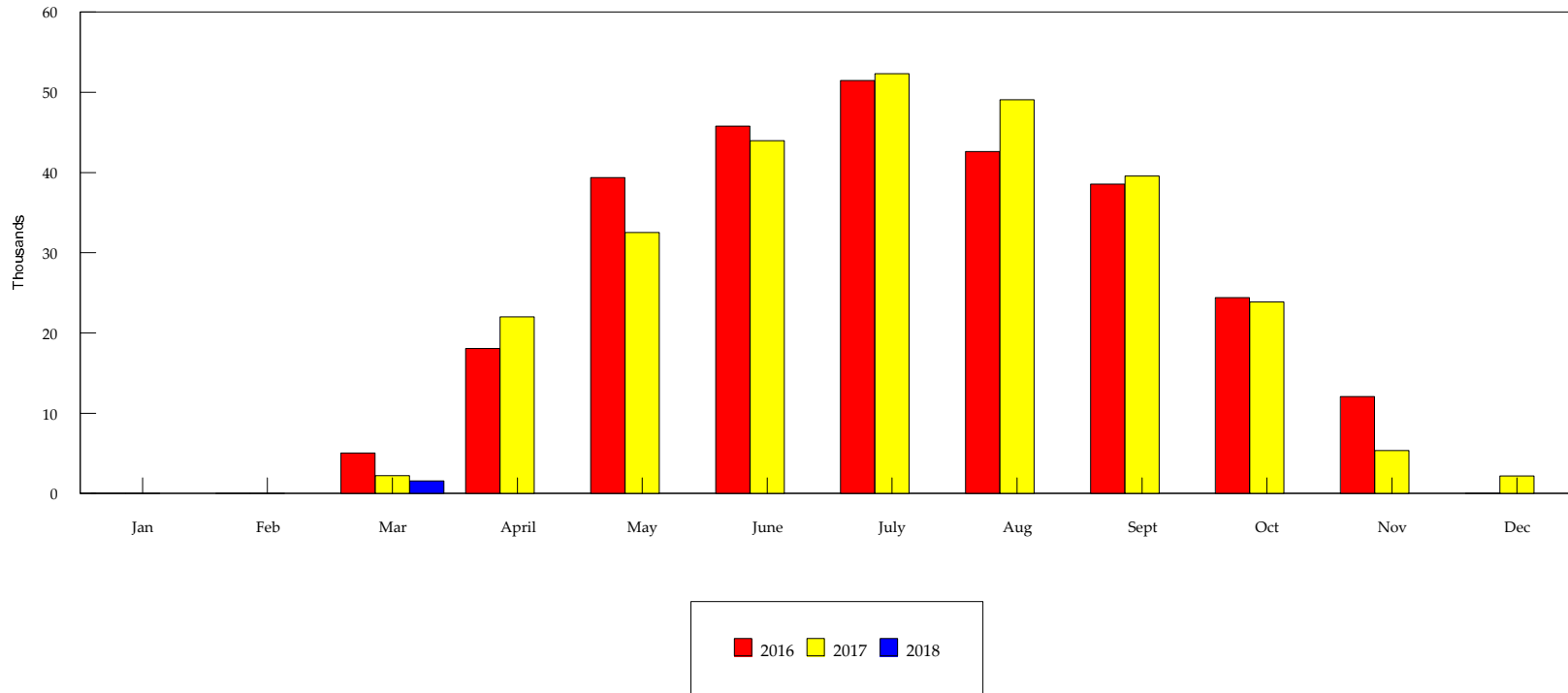


This Year Vs Last Two Years

MT PROSPECT PARK DISTRICT
GOLF COURSE
Power Cart Rental

Revenue Recap by yr:

	2016		2017		2018		'16Budget	'17Budget	'18Budget
	Month	YTD	Month	YTD	Month	YTD			
Jan	0	0	Jan	0	Jan	0	280,000		
Feb	0	0	Feb	0	Feb	0	280,000		
Mar	5,052	5,052	Mar	2,205	Mar	1,552	290,000		
April	18,073	23,125	April	22,007	April	0			
May	39,379	62,504	May	32,545	May	0			
June	45,804	108,308	June	43,968	June	0			
July	51,486	159,793	July	52,330	July	0			
Aug	42,606	202,400	Aug	49,064	Aug	0			
Sept	38,558	240,958	Sept	39,567	Sept	0			
Oct	24,431	265,389	Oct	23,882	Oct	0			
Nov	12,070	277,459	Nov	5,358	Nov	0			
Dec	0	277,459	Dec	2,174	Dec	0			
				273,099		1,552			

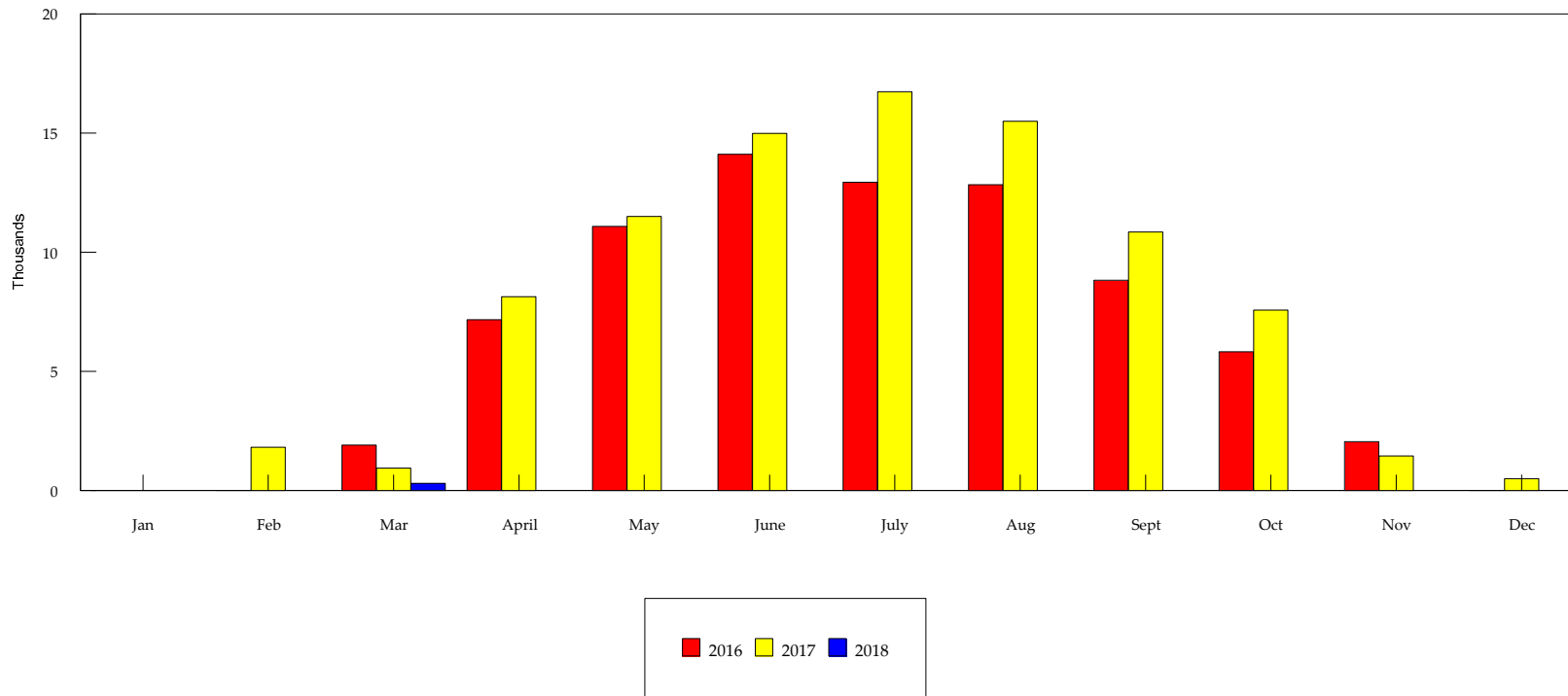


This Year Vs Last Two Years

MT PROSPECT PARK DISTRICT
GOLF COURSE
Driving Range Revenue

Revenue Recap by yr:

	2016		2017		2018		'16Budget	'17Budget	'18Budget
	Month	YTD	Month	YTD	Month	YTD			
Jan	0	0	Jan	0	Jan	0	90,000		
Feb	0	0	Feb	1,825	Feb	0	90,000		
Mar	1,906	1,906	Mar	944	Mar	302	106,000		
April	7,167	9,074	April	8,146	April	0			
May	11,092	20,166	May	11,506	May	0			
June	14,116	34,282	June	14,990	June	0			
July	12,949	47,231	July	16,740	July	0			
Aug	12,837	60,068	Aug	15,501	Aug	0			
Sept	8,831	68,899	Sept	10,850	Sept	0			
Oct	5,832	74,731	Oct	7,582	Oct	0			
Nov	2,059	76,789	Nov	1,459	Nov	0			
Dec	0	76,789	Dec	502	Dec	0			

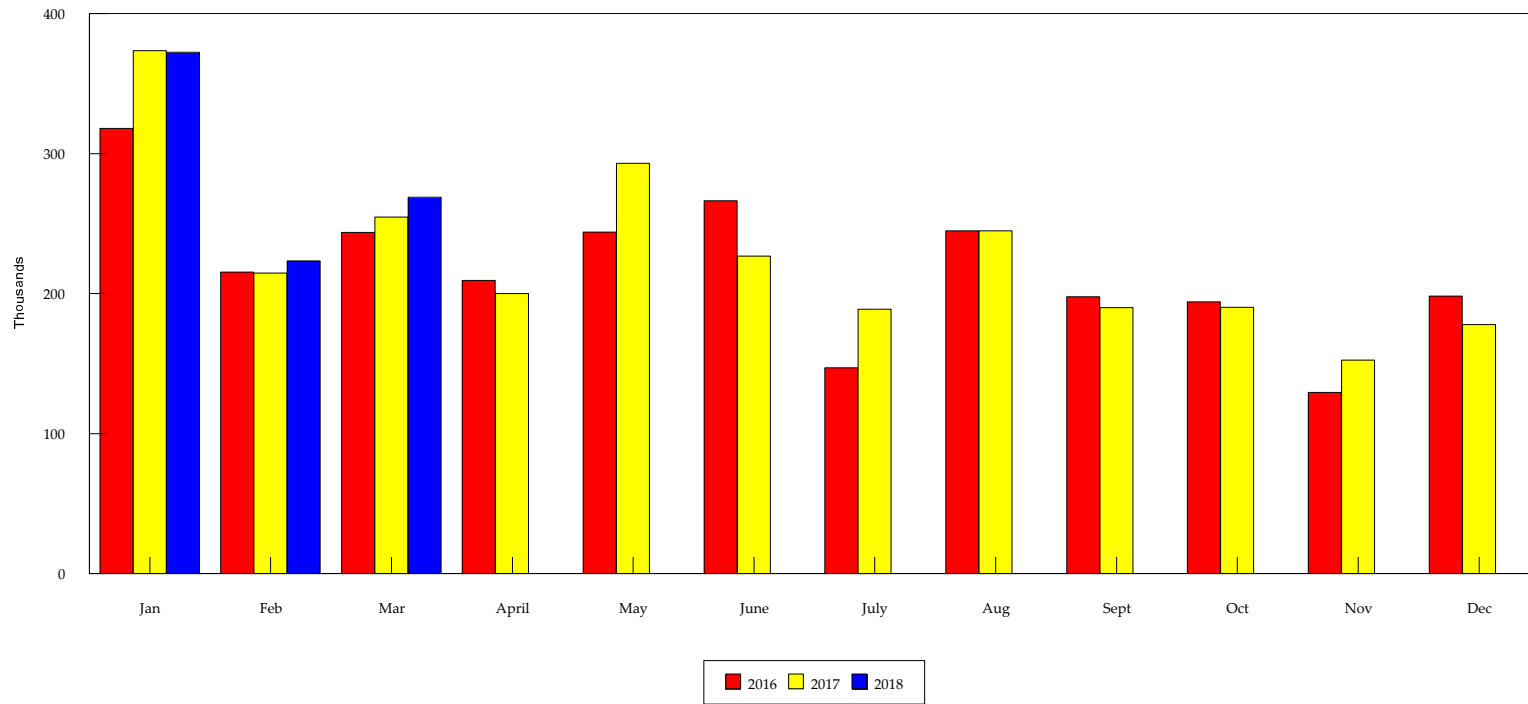


This Year Vs Last Two Years

MT PROSPECT PARK DISTRICT PROGRAM REVENUE

Revenue Recap by yr:

	2016		2017		2018		YTD <u>Actual</u>	Annual <u>Budget</u>
	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>		
Jan	318,088	318,088	Jan	373,662	Jan	372,508	372,508	Revenue <hr/> Expenditures Part Time 199,317 972,072 Contractual 74,322 362,933 Commodities 86,363 353,767 <hr/> Net <hr/> <u>504,820</u> <u>1,031,296</u>
Feb	215,326	533,414	Feb	214,716	Feb	223,330	595,838	
Mar	243,880	777,294	Mar	254,751	Mar	268,984	864,822	
April	209,424	986,718	April	200,096	April	0	0	
May	243,991	1,230,709	May	293,193	May	0	0	
June	266,385	1,497,094	June	226,890	June	0	0	
July	147,087	1,644,181	July	188,870	July	0	0	
Aug	244,949	1,889,130	Aug	244,885	Aug	0	0	
Sept	197,925	2,087,055	Sept	190,099	Sept	0	0	
Oct	194,109	2,281,164	Oct	190,245	Oct	0	0	
Nov	129,388	2,410,552	Nov	152,528	Nov	0	0	
Dec	198,371	2,608,923	Dec	177,831	Dec	0	0	
Budget	2,459,100		2,652,000		2,720,068			



This Year Vs Last Year

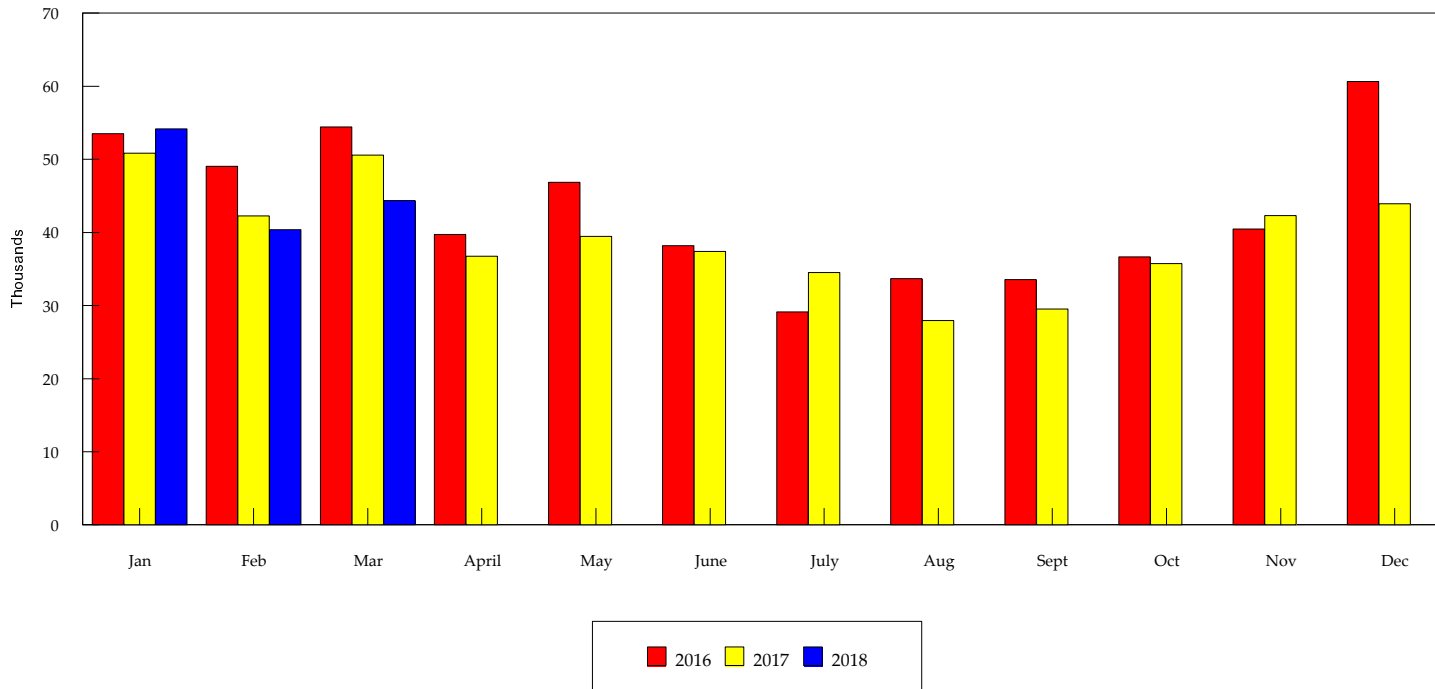
MOUNT PROSPECT PARK DISTRICT
PROGRAMS Department by Function
For Three Months Ended 3-31-18

ACCOUNT NAMES	TOTALS	YOUTH/ CHILD CARE	ATHLETICS ADULT	YOUTH	FITNESS	SPECIAL EVENTS	ARTS	BASEBALL
REVENUES:								
PROGRAM FEES	858,065	382,077	33,594	110,707	53,921	5,404	122,478	149,884
CHILD CARE	6,758	6,758						
DONATIONS	-							
TOTAL REVENUE	864,822	388,835	33,594	110,707	53,921	5,404	122,478	149,884
% of Budget	32%	31%	24%	26%	22%	42%	25%	97%
EXPENDITURES:								
PART TIME SALARIES	199,317	87,986	4,474	14,216	37,081	1,542	50,956	3,063
CONTRACTUAL SERVICES	74,322	21,472	6,734	42,216	1,889	462	1,549	
COMMODITIES	86,284	3,361	221	6,413		5,100	38,623	32,565
UTILITIES	79							79
TOTAL EXPENDITURES	360,003	112,818	11,429	62,846	38,970	7,105	91,128	35,707
% of Budget	21%	18%	10%	22%	22%	21%	27%	27%
REVENUE OVER(UNDER) EXP	504,820	276,017	22,165	47,861	14,952	(1,701)	31,350	114,177
CHANGE FROM LAST YR + (-)								
REVENUE	21,826	27,288	(491)	3,366	(28,461)	802	10,838	8,484
EXPENDITURES	39,069	(10,263)	(575)	1,896	(2,733)	2,694	30,341	17,708
NET	(17,244)	37,551	84	1,470	(25,728)	(1,893)	(19,503)	(9,224)
% CHANGE FROM LAST YEAR								
REVENUE	3	8	(1)	3	(35)	17	10	6
EXPENDITURES	12	(8)	(5)	3	(7)	61	50	98
2018 BUDGET REVENUE	2,720,068	1,246,786	141,180	430,526	243,217	13,000	490,769	154,590
2018 BUDGET EXPEND	1,688,772	613,880	118,727	281,867	174,706	33,438	332,535	133,619
2017 REVENUE	842,997	361,546	34,085	107,341	82,382	4,602	111,640	141,400
2017 EXPENDITURES	320,933	123,081	12,004	60,950	41,703	4,410	60,787	17,998

**MT PROSPECT PARK DISTRICT
RECPLEX**

Revenue Recap by yr:

2016			2017			2018			YTD	Annual
	<u>Month</u>	<u>YTD</u>		<u>Month</u>	<u>YTD</u>		<u>Month</u>	<u>YTD</u>	<u>Actual</u>	<u>Budget</u>
Jan	53,516	53,516	Jan	50,841	50,841	Jan	54,196	54,196	Revenue	138,956
Feb	49,059	102,575	Feb	42,249	93,091	Feb	40,393	94,589		
Mar	54,451	157,026	Mar	50,602	143,692	Mar	44,367	138,956		
Apr	39,734	196,761	Apr	36,754	180,446	Apr	0	0		
May	46,875	243,636	May	39,476	219,922	May	0	0		
June	38,214	281,850	June	37,406	257,328	June	0	0		
July	29,155	311,006	July	34,503	291,830	July	0	0		
Aug	33,703	344,708	Aug	27,933	319,763	Aug	0	0		
Sept	33,574	378,282	Sept	29,525	349,288	Sept	0	0		
Oct	36,669	414,952	Oct	35,760	385,049	Oct	0	0		
Nov	40,460	455,412	Nov	42,303	427,352	Nov	0	0		
Dec	60,665	516,077	Dec	43,931	471,283	Dec	0	0		
Budget		574,000			529,500			496,111	Expenditures	
									Full Time	45,841
									Part Time	58,130
									Benefits	24,890
									Commodities	11,158
									Contractual	17,133
									Utilities	42,266
										199,418
									Net	(60,462)
										1,074,190



This Year Vs Last Two Years

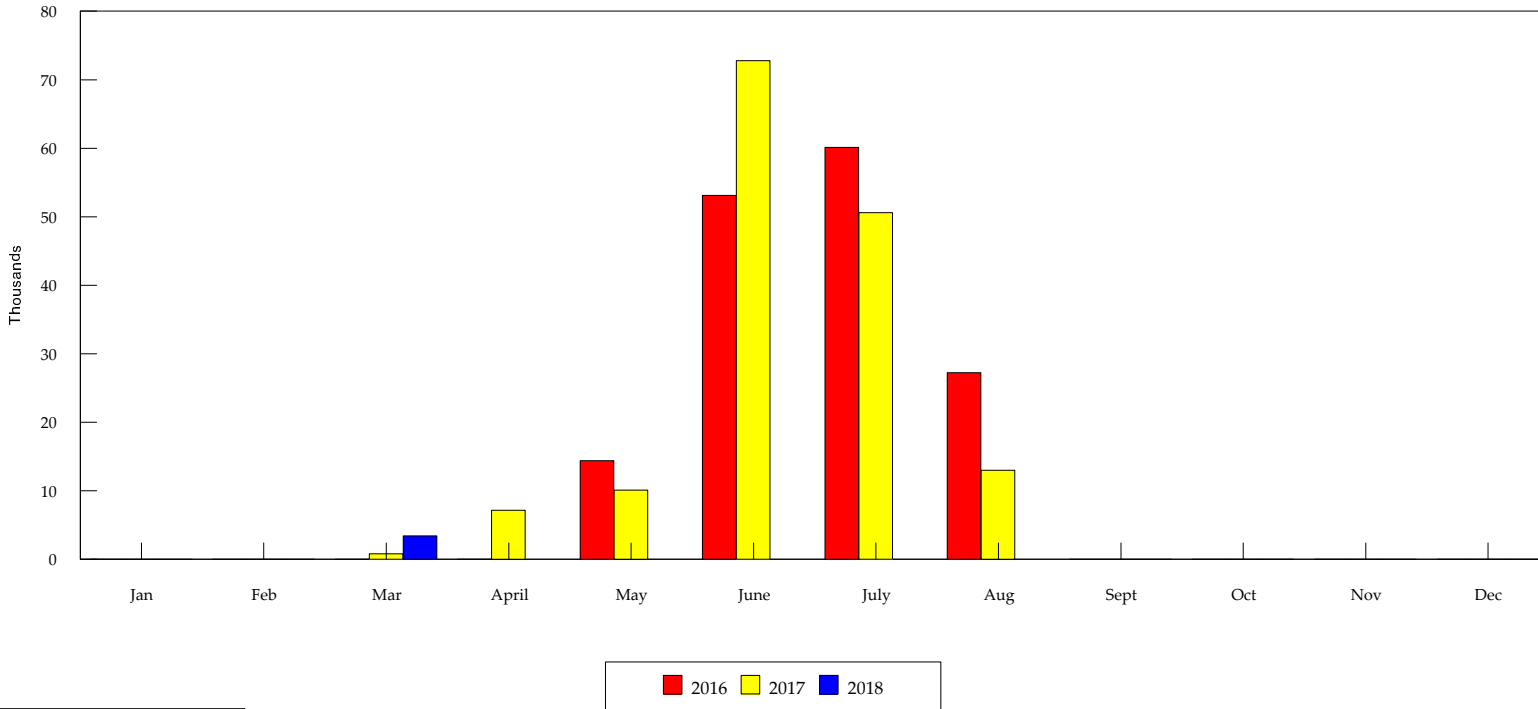
**MT PROSPECT PARK DISTRICT
RECPLEX FACILITY REVENUE REPORT
MARCH 2018**

	<i>MONTH</i>		<i>YEAR to DATE</i>		Up (Down)	
	This	Last	This	Last	Change	% Change
RENTALS						
Building Rental	4,392	9,481	19,525	18,970	555	3%
Lockers	-	-	-	-	-	-
Total	4,392	9,481	19,525	18,970	555	3%
PASS SALES						
All Facility	8,386	11,240	28,135	33,202	(5,067)	-15%
Gym & Track	5,503	4,599	14,739	13,409	1,330	10%
Fitness	18,612	17,427	55,617	53,622	1,995	4%
Total	32,501	33,266	98,491	100,234	(1,743)	-2%
DAILY FEES						
All Facility	518	927	1,462	3,189	(1,727)	-54%
Gym & Track	4,205	5,646	12,950	16,282	(3,332)	-20%
Fitness	824	1,002	2,771	2,997	(226)	-8%
Racquetball	561	683	2,346	2,473	(127)	-5%
Playport	1,306	904	2,630	2,223	407	18%
Total	7,414	9,162	22,159	27,164	(5,006)	-18%
PROGRAM FEES						
Special Programs	1,806	-	2,872	765	2,107	275%
Total	1,806	-	2,872	765	2,107	275%
CONCESSIONS						
Merchandise	404	557	1,103	1,441	(338)	-23%
Vending	934	1,300	3,703	3,953	(251)	-6%
Total	1,338	1,857	4,806	5,394	(589)	-11%
OTHER						
Visa Charges / OvSt	(3,083)	(3,165)	(8,896)	(8,835)	(61)	1%
TOTAL	44,367	50,602	138,956	143,692	(4,736)	-3%

MOUNT PROSPECT PARK DISTRICT BIG SURF POOL

Revenue Recap by yr:

2016			2017			2018			YTD	Annual
Month	YTD		Month	YTD		Month	YTD	Actual	Budget	
Jan	0	0	Jan	0	0	Jan	0	0		
Feb	0	0	Feb	0	0	Feb	0	0		
Mar	0	0	Mar	800	800	Mar	3,422	3,422	Revenue 3,422 165,896	
April	295	295	April	7,178	7,978	April	0	0	Expenditures	
May	16,974	17,269	May	10,122	18,100	May	0	0	Full Time 30,725 127,952	
June	65,042	82,310	June	72,777	90,877	June	0	0	Part Time 90,960	
July	45,412	127,722	July	50,582	141,459	July	0	0	Benefits 17,148 58,936	
Aug	23,965	151,687	Aug	13,020	154,479	Aug	0	0	Comodities 931 30,715	
Sept	0	151,687	Sept	0	154,479	Sept	0	0	Utilities 1,254 15,162	
Oct	0	151,687	Oct	0	154,479	Oct	0	0	50,058 323,725	
Nov	0	151,687	Nov	0	154,479	Nov	0	0	Net (46,636) (157,829)	
Dec	0	151,687	Dec	0	154,479	Dec	0	3,422		
Budget		178,500			178,500			165,896		



This Year Vs Last Two Years

Mount Prospect Park District

BIG SURF POOL

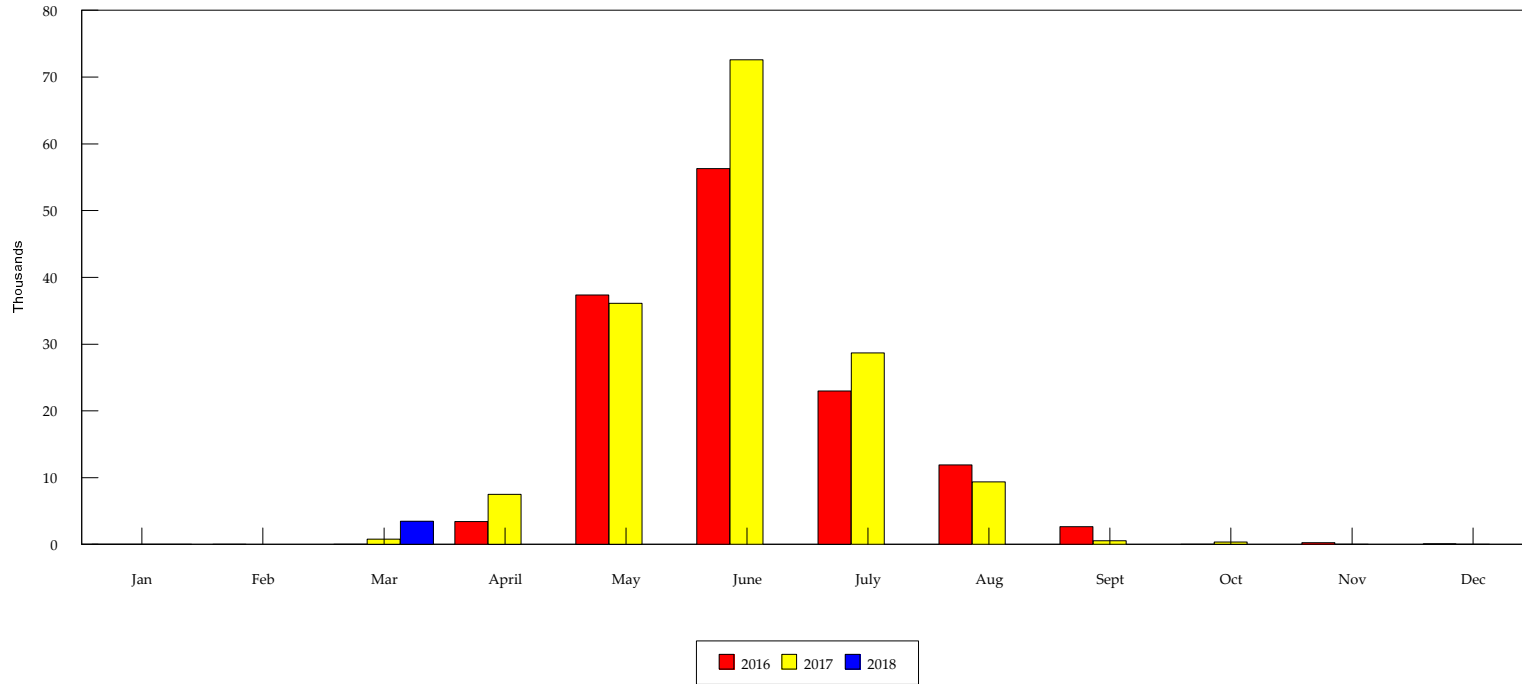
thru March

	2015	2016	2017	2018	Change From Prior Year
REVENUES:					
TUBE RENTAL					N/A
PASSES /USER FEES			800	3,422	328%
DAILY /USER FEES					N/A
PROGRAM FEES					N/A
CONCESSION SALES					
MERCHANDISE SALES					
TOTAL REVENUE	-	-	800	3,422	328%
% of Budget	0%	0%	0%	2%	
EXPENDITURES:					
FULL TIME SALARIES	27,675	31,985	28,517	30,725	8%
PART TIME SALARIES	1,440	0	-	-	N/A
FRINGE BENEFITS	9,757	13,074	16,829	17,148	2%
CONTRACTUAL SERVICES	239	300	854		-100%
COMMODITIES	990	802	1,956	931	-52%
UTILITIES	1,527	1,616	1,753	1,254	-28%
SALES TAX/OTHER					
TOTAL EXPENDITURES	41,627	47,777	49,909	50,058	0%
% of Budget	15%	15%	16%	15%	
REVENUE OVER(UNDER) EXP	(41,627)	(47,777)	(49,109)	(46,636)	
BUDGET REVENUE	173,510	178,500	178,800	165,896	
BUDGET EXPENSE	283,034	312,183	317,496	323,725	

MT PROSPECT PARK DISTRICT
MEADOWS POOL REVENUE

Revenue Recap by yr:

	2016		2017		2018		YTD Actual	Annual Budget
	Month	YTD	Month	YTD	Month	YTD		
Jan	0	0	Jan	0	Jan	0		
Feb	0	0	Feb	0	Feb	0		
Mar	0	0	Mar	800	Mar	3,497	Revenue	3,497
April	3,449	3,449	April	7,478	April	0	Expenditures	
May	37,373	40,822	May	36,123	May	0	Part Time	0
June	56,318	97,140	June	72,599	June	0	Utilities	6,293
July	22,999	120,139	July	28,708	July	0	Comodities	3,154
Aug	11,912	132,050	Aug	9,353	Aug	0		9,447
Sept	2,667	134,717	Sept	553	Sept	0	Net	(5,950)
Oct	15	134,732	Oct	350	Oct	0		(26,114)
Nov	250	134,982	Nov	0	Nov	0		
Dec	50	135,032	Dec	0	Dec	0		
Budget	156,400		147,750		174,127			



This Year Vs Last Two Years

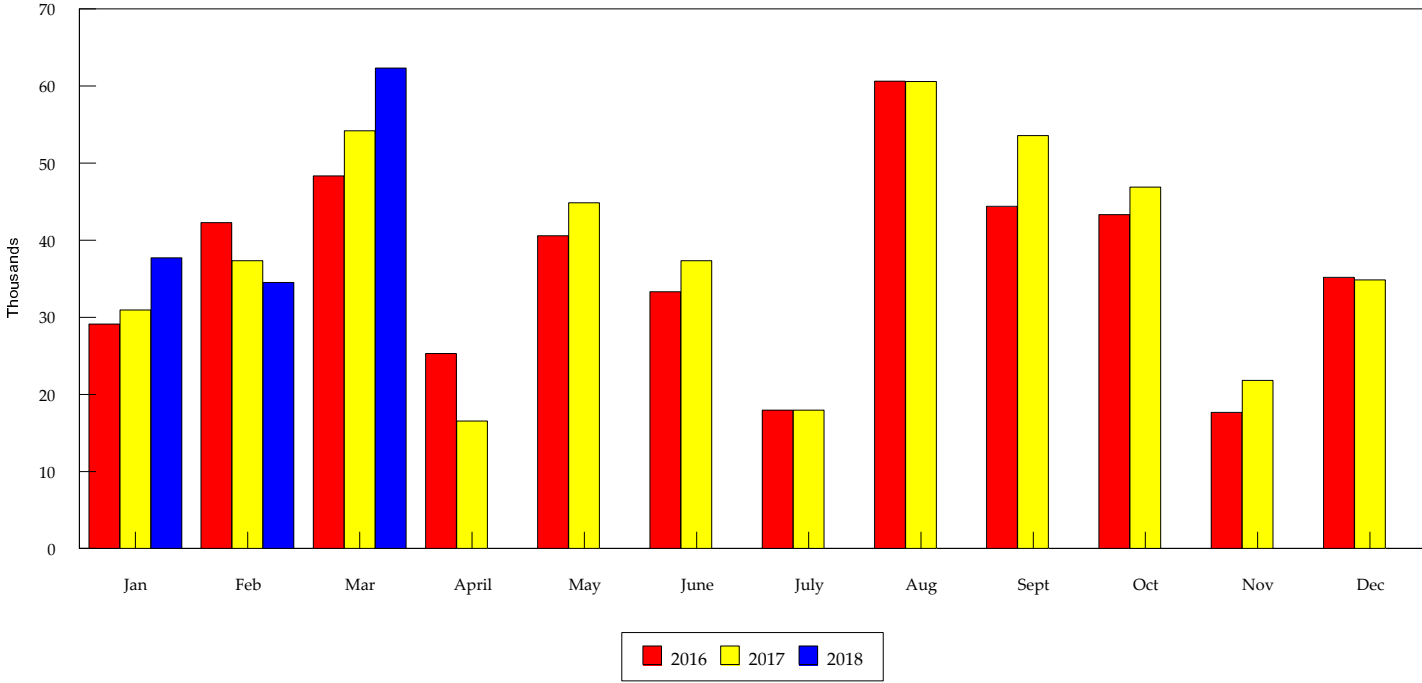
Mount Prospect Park District
MEADOWS POOL
 thru March

	2015	2016	2017	2018	Change From Prior Year
REVENUES:					
BUILDING RENTAL					N/A
PASSES /USER FEES			800	3,422	328%
DAILY /USER FEES					N/A
PROGRAM FEES				75	#DIV/0!
CONCESSION SALES					
MERCHANDISE SALES					
TOTAL REVENUE	-	-	800	3,497	337%
% of Budget	0%	0%	1%	2%	
EXPENDITURES:					
FULL TIME SALARIES	-		-		N/A
PART TIME SALARIES	1,660	87	242		-100%
FRINGE BENEFITS	-		-		N/A
CONTRACTUAL SERVICES	3,970	3,195	3,902	2,433	-38%
COMMODITIES	1,158	342	2,348	721	-69%
UTILITIES	5,507	5,790	4,414	6,293	43%
SALES TAX/OTHER					
TOTAL EXPENDITURES	12,295	9,414	10,906	9,447	-13%
% of Budget	7%	5%	5%	5%	
REVENUE OVER(UNDER) EXP	(12,295)	(9,414)	(10,106)	(5,950)	
BUDGET REVENUE	153,400	156,400	147,750	174,127	
BUDGET EXPENSE	187,317	194,864	202,103	200,241	

**MT PROSPECT PARK DISTRICT
RECPLEX POOL REVENUE**

Revenue Recap by yr:

	2016		2017		2018		YTD <u>Actual</u>	Annual <u>Budget</u>						
	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>								
Jan	29,132	29,132	Jan	30,950	30,950	Jan	37,717	37,717	Revenue	134,574	472,887			
Feb	42,281	71,413	Feb	37,340	68,290	Feb	34,519	72,236						
Mar	48,349	119,762	Mar	54,211	122,501	Mar	62,338	134,574						
April	25,294	145,056	April	16,553	139,055	April	0	0				Expenditures	28,458	118,284
May	40,592	185,648	May	44,876	183,931	May	0	0						
June	33,307	218,955	June	37,333	221,264	June	0	0						
July	17,966	236,921	July	17,966	239,230	July	0	0						
Aug	60,633	297,553	Aug	60,609	299,839	Aug	0	0						
Sept	44,398	341,951	Sept	53,583	353,423	Sept	0	0						
Oct	43,318	385,269	Oct	46,883	400,306	Oct	0	0						
Nov	17,676	402,945	Nov	21,799	422,105	Nov	0	0						
Dec	35,182	438,127	Dec	34,839	456,944	Dec	0	0						
Budget	431,900		437,500			472,887								
									Net	127,476	537,112			
										7,098	(64,225)			



This Year Vs Last Two Years

Mount Prospect Park District

REC PLEX POOL

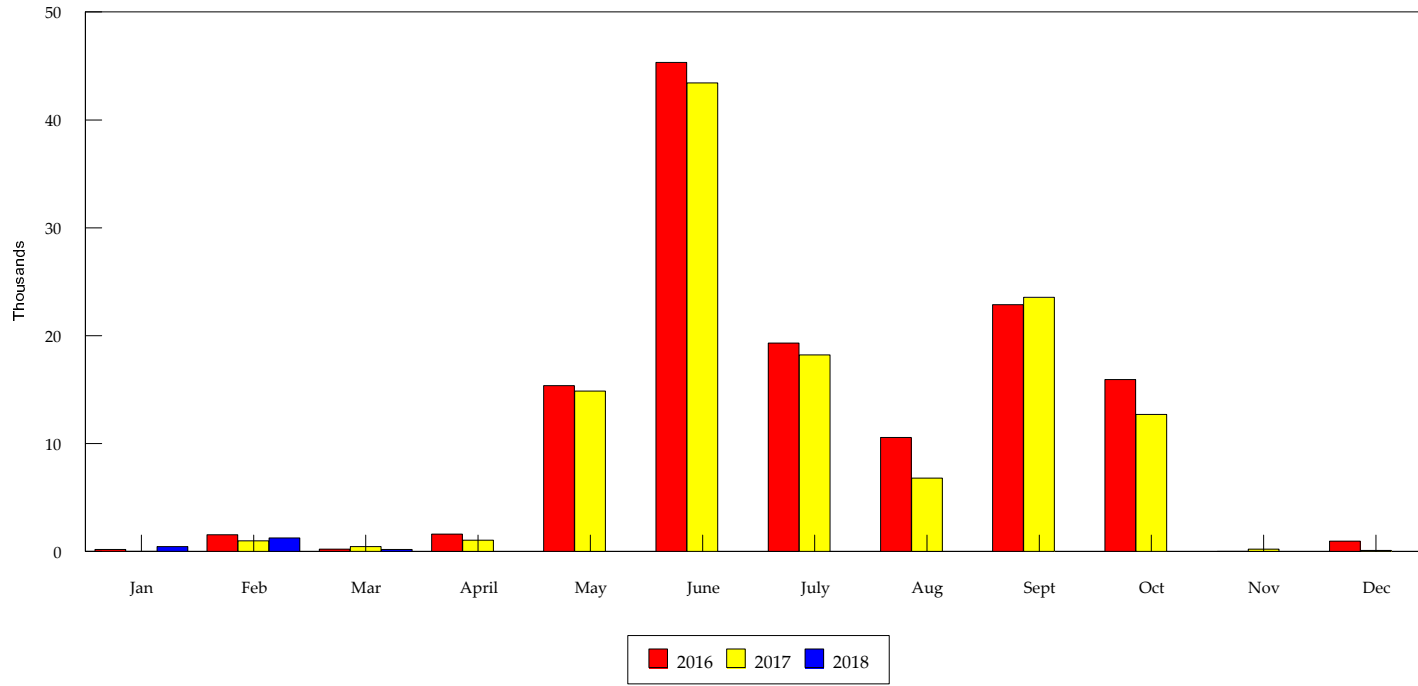
thru March

	2015	2016	2017	2018	Change From Prior Year
REVENUES:					
BUILDING RENTAL	448	374	853	346	-59%
PASSES /USER FEES	24,159	24,280	23,838	27,908	17%
DAILY /USER FEES	3,928	3,288	3,749	3,023	-19%
PROGRAM FEES	80,909	91,820	94,062	103,296	10%
CONCESSION SALES					
MERCHANDISE SALES					
TOTAL REVENUE	109,444	119,762	122,502	134,574	10%
% of Budget	27%	28%	28%	28%	
EXPENDITURES:					
FULL TIME SALARIES	22,478	30,184	18,021	28,458	58%
PART TIME SALARIES	57,250	70,293	77,615	61,232	-21%
FRINGE BENEFITS	7,227	12,428	16,829	17,148	2%
CONTRACTUAL SERVICES	550	422	3,903	1,634	-58%
COMMODITIES	3,542	7,208	9,403	8,742	-7%
UTILITIES	8,161	10,746	11,590	10,262	-11%
SALES TAX/OTHER					
TOTAL EXPENDITURES	99,208	131,281	137,361	127,476	-7%
% of Budget	21%	24%	25%	24%	
REVENUE OVER(UNDER) EXP	10,235	(11,519)	(14,859)	7,098	
BUDGET REVENUE	410,900	431,900	437,500	472,887	
BUDGET EXPENSE	478,667	540,480	551,933	537,112	

MT PROSPECT PARK DISTRICT CONCESSIONS

Revenue Recap by yr:

	2016		2017		2018		YTD <u>Actual</u>	Annual <u>Budget</u>	
	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>			
Jan	207	207	Jan	0	0	Jan	457	457	
Feb	1,550	1,757	Feb	982	982	Feb	1,252	1,709	
Mar	224	1,981	Mar	454	1,436	Mar	194	1,903	
April	1,627	3,608	April	1,057	2,493	April	0	0	
May	15,367	18,975	May	14,860	17,353	May	0	0	
June	45,317	64,292	June	43,440	60,793	June	0	0	
July	19,335	83,627	July	18,216	79,009	July	0	0	
Aug	10,572	94,199	Aug	6,805	85,814	Aug	0	0	
Sept	22,867	117,066	Sept	23,568	109,382	Sept	0	0	
Oct	15,931	132,997	Oct	12,708	122,090	Oct	0	0	
Nov	0	132,997	Nov	228	122,318	Nov	0	0	
Dec	959	133,956	Dec	111	122,429	Dec	0	0	
Budget		137,900		150,600		136,600			
							Revenue	1,903	136,600
							Expenditures		
							Full Time	1,475	6,585
							Part Time	2,378	35,494
							Benefits	725	2,494
							Comodities	2,610	64,168
							Utilities	4,214	26,050
								<u>11,402</u>	<u>134,791</u>
							Net	<u>(9,499)</u>	<u>1,809</u>



This Year Vs Last Two Years

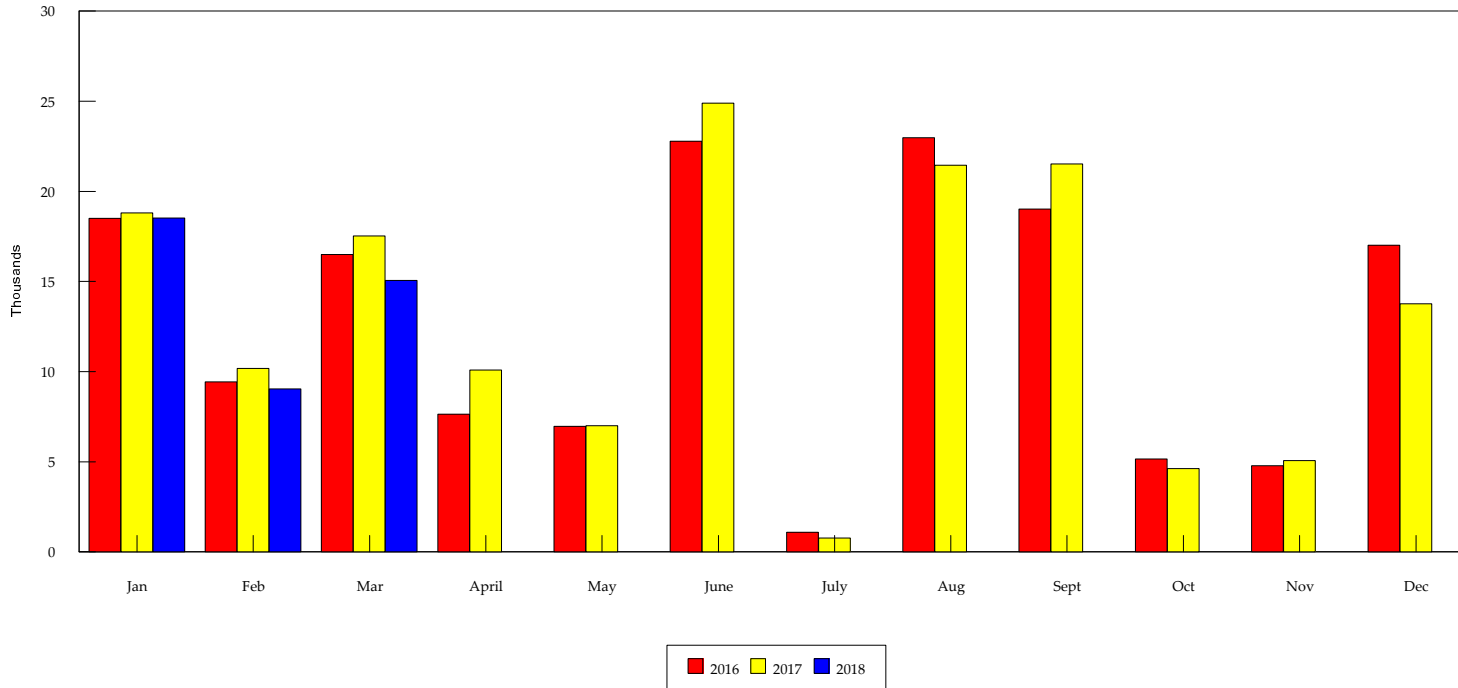
**MOUNT PROSPECT PARK DISTRICT
CONCESSIONS Department by Location
For Three Months Ended 3-31-18**

ACCOUNT NAMES	TOTALS	ADMIN	LIONS POOL	MEADOWS POOL	MEADOWS BALLFIELD	GRILL & 1/2 WAY	MELAS PARK	ATHLETIC FIELDS
REVENUES:								
PROGRAM FEES	-							
DAILY / FEES - CATERING	-					-		
VENDING INCOME	-			-				
CONCESSION SALES	1,903		243		-		1,660	-
OTHER	-							
TOTAL REVENUE	1,903	-	243	-	-	-	1,660	-
% of Budget	1%	n/a	1%	0%	0%	0%	10%	0%
EXPENDITURES:								
FULL TIME SALARIES	1,475	1,475						
PART TIME SALARIES	2,378		81		-		2,297	
FRINGE BENEFITS	725	725						
CONTRACTUAL SERVICES	1,870	-		-			1,470	400
COMMODITIES	147		40	12	-	20	52	24
COST OF GOODS SOLD	448				-		448	
UTILITIES	4,214					3,156	1,057	
SALES TAX/OTHER	144	144						
TOTAL EXPENDITURES	11,402	2,345	121	12	-	3,176	5,325	424
% of Budget	8%	19%	0%	4%	0%	43%	12%	3%
REVENUE OVER(UNDER) EXP	(9,499)	(2,345)	122	(12)	-	(3,176)	(3,665)	(424)
CHANGE FROM LAST YR + (-)								
REVENUE	468	-	(1,173)	-	(4)	-	1,644	-
EXPENDITURES	1,734	202	(905)	(1)	-	2,207	233	(2)
NET	(1,266)	(202)	(268)	1	(4)	(2,207)	1,411	2
% CHANGE FROM LAST YEAR								
REVENUE	33	n/a	(83)	n/a	n/a	n/a	10,275	n/a
EXPENDITURES	18	9	(88)	(11)	n/a	228	5	(0)

MT PROSPECT PARK DISTRICT CENTRAL PROGRAM REVENUE

Revenue Recap by yr:

2016			2017			2018					
	<u>Month</u>	<u>YTD</u>		<u>Month</u>	<u>YTD</u>		<u>Month</u>	<u>YTD</u>	<u>YTD</u>	<u>Annual</u>	
									<u>Actual</u>	<u>Budget</u>	
Jan	18,513	18,513	Jan	18,815	18,815	Jan	18,516	18,516			
Feb	9,440	27,953	Feb	10,178	28,993	Feb	9,050	27,566	Revenue	42,623	148,800
Mar	16,506	44,459	Mar	17,535	46,528	Mar	15,057	42,623	Expenditures		
April	7,645	52,104	April	10,087	56,615	April	0	0	Part Time	8,010	28,000
May	6,961	59,065	May	6,995	63,610	May	0	0	Contractual	0	70,820
June	22,781	81,846	June	24,892	88,502	June	0	0	Commodities	103	1,500
July	1,099	82,945	July	765	89,267	July	0	0		8,113	100,320
Aug	22,987	105,932	Aug	21,460	110,727	Aug	0	0	Net	34,510	48,480
Sept	19,026	124,958	Sept	21,526	132,253	Sept	0	0			
Oct	5,157	130,115	Oct	4,632	136,885	Oct	0	0			
Nov	4,780	134,895	Nov	5,076	141,961	Nov	0	0			
Dec	17,018	151,913	Dec	13,771	155,732	Dec	0	0			
Budget		200,000			189,000			148,800			



This Year Vs Last Year

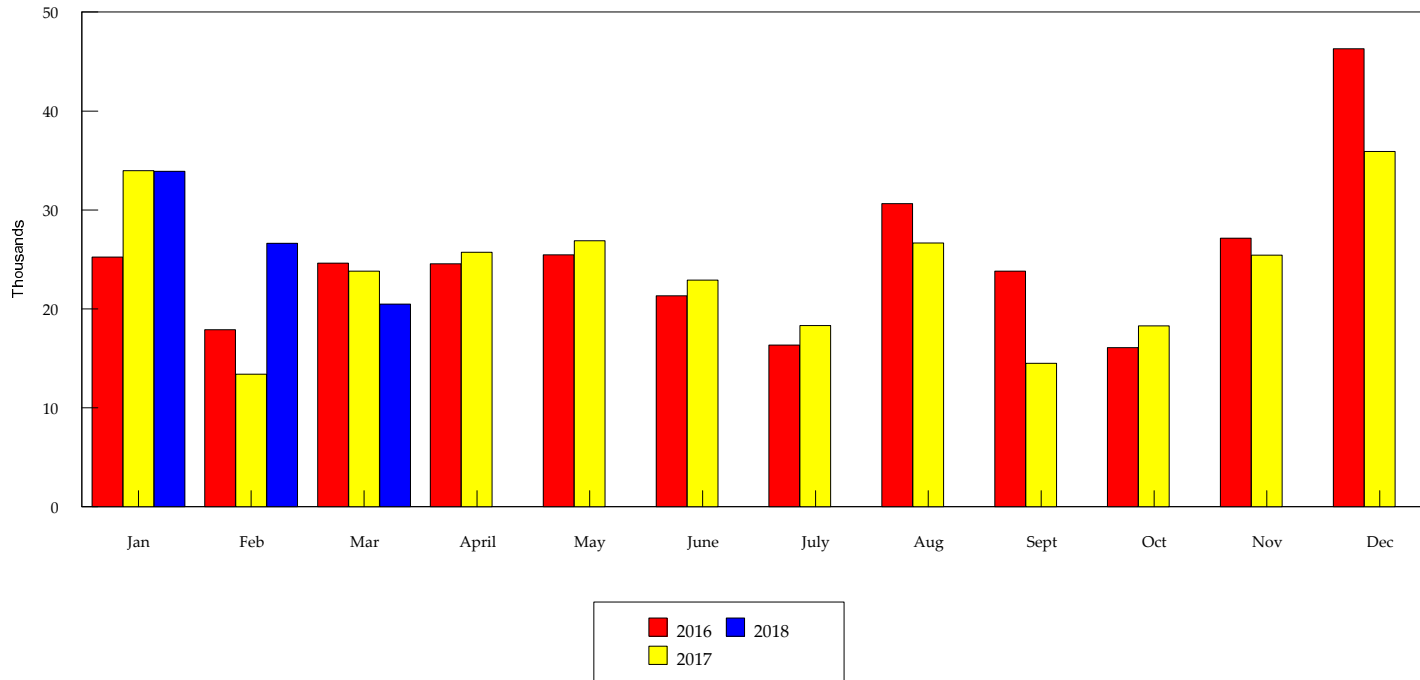
**MOUNT PROSPECT PARK DISTRICT
CENTRAL PROGRAMS Department by Function
Month Ended 3-31-18**

ACCOUNT NAMES	TOTALS	YOUTH CHILD CARE	ADULT	ATHLETICS YOUTH	ARTS
REVENUES:					
PROGRAM FEES	42,623	17,220		25,403	-
CHILD CARE	-				
DONATIONS	-		-		
TOTAL REVENUE	42,623	17,220	-	25,403	-
% of Budget	29%	32%	0%	29%	
EXPENDITURES:					
PART TIME SALARIES	8,010	8,010			
CONTRACTUAL SERVICES	103	103			
COMMODITIES	-				
TOTAL EXPENDITURES	8,113	8,113	-	-	-
% of Budget	8%	28%	0%	0%	
REVENUE OVER(UNDER) EXP	34,510	9,107	-	25,403	-
CHANGE FROM LAST YR + (-)					
REVENUE	(4,114)	(2,375)	(55)	(240)	(1,444)
EXPENDITURES	(1,384)	(1,384)	-	-	-
NET	(2,730)	(991)	(55)	(240)	(1,444)
% CHANGE FROM LAST YEAR					
REVENUE	(9)	(12)	(100)	(1)	(100)
EXPENDITURES	(15)	(15)	n/a	n/a	n/a

MT PROSPECT PARK DISTRICT CENTRAL COMMUNITY CENTER

Revenue Recap by yr:

	2016		2017		2018		YTD <u>Actual</u>	Annual <u>Budget</u>	
	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>	<u>Month</u>	<u>YTD</u>			
Jan	25,255	25,255	Jan	33,981	33,981	Jan	33,909	33,909	Revenue
Feb	17,914	43,169	Feb	13,413	47,395	Feb	26,632	60,541	
Mar	24,639	67,808	Mar	23,826	71,220	Mar	20,474	81,015	
April	24,566	92,374	April	25,712	96,932	April	0	0	
May	25,453	117,827	May	26,882	123,814	May	0	0	
June	21,322	139,149	June	22,927	146,741	June	0	0	
July	16,353	155,502	July	18,319	165,060	July	0	0	
Aug	30,650	186,152	Aug	26,666	191,727	Aug	0	0	
Sept	23,808	209,960	Sept	14,514	206,240	Sept	0	0	
Oct	16,075	226,036	Oct	18,294	224,534	Oct	0	0	
Nov	27,162	253,198	Nov	25,434	249,967	Nov	0	0	
Dec	46,297	299,494	Dec	35,930	285,897	Dec	0	0	
Budget		384,100		360,400		356,510			Expenditures
									Full Time
									Part Time
									Benefits
									Comodities
									Contractual
									Utilities
									Net



This Year Vs Last Two Years

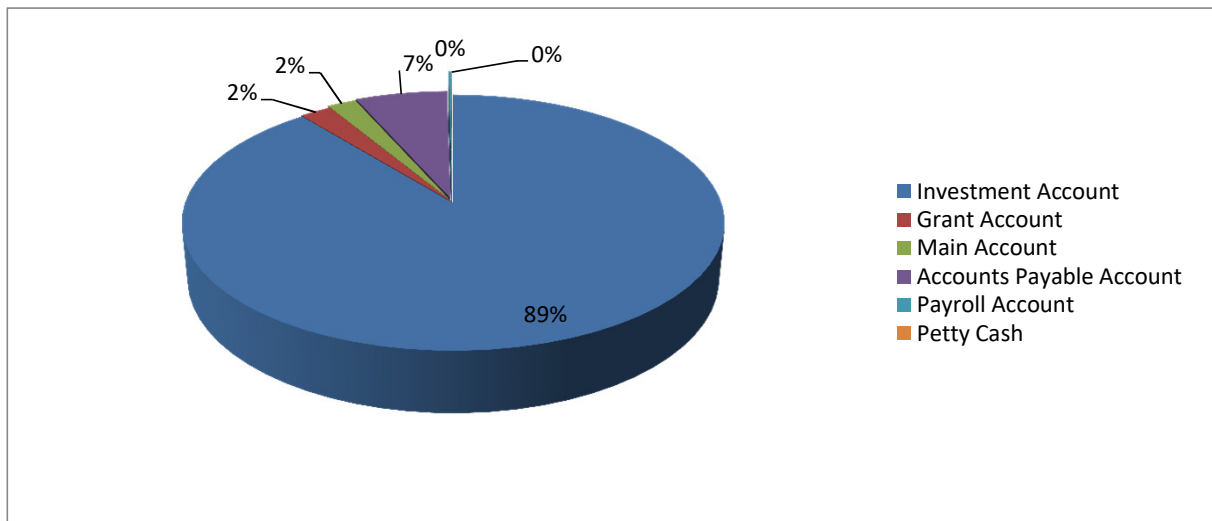
**MT PROSPECT PARK DISTRICT
CENTRAL FACILITY REVENUE REPORT
MARCH 2018**

	MONTH		YEAR to DATE		Change	Up/(Down)
	This	Last	This	Last		% Change
RENTALS						
Skate Rental	230	274	840	933	(93)	-10%
Building Rental	4,738	5,473	19,286	11,861	7,425	63%
	4,968	5,747	20,126	12,794	7,332	57%
PASS SALES						
Fitness	8,476	9,309	27,331	28,361	(1,029)	-4%
	8,476	9,309	27,331	28,361	(1,029)	-4%
DAILY FEES						
Gym Fees	1,186	812	3,171	2,280	891	39%
Fitness Center	345	266	717	1,189	(472)	-40%
Inline Rink Fees	1,265	952	3,275	2,446	829	34%
	2,796	2,030	7,163	5,915	1,248	21%
PROGRAM FEES						
Adult Athletic Leagues		-			-	0%
Youth Athletic Camps					-	0%
Youth Athletic Prog.	449	245	1,192	595	597	100%
Youth Leagues	3,950	4,505	20,735	20,505	230	1%
Special Programs	343	2,119	6,004	4,462	1,542	35%
	4,742	6,869	27,931	25,562	2,369	9%
CONCESSIONS						
Merchandise	634	887	2,040	2,156	(116)	-5%
Vending	440	607	986	963	23	2%
	1,074	1,494	3,026	3,119	(93)	-3%
OTHER						
Visa Charges / OvShrt	(1,581)	(1,623)	(4,562)	(4,531)	(31)	1%
TOTAL	20,474	23,826	81,015	71,220	9,795	14%

Mt. Prospect Park District
Statement of Account Balances
As of March 31, 2018

Mt. Prospect State Bank

Accounts	Bank Balance	Interest Rate	YTD Interest
Investment Account	7,567,457.62	0.01%	1,834.28
Grant Account	188,056.60	0.02%	9.27
Main Account	170,370.68	n/a	
Accounts Payable Account	543,633.38	n/a	
Payroll Account	15,533.49	n/a	
Petty Cash	4,815.34	n/a	
Total Funds	8,489,867.11		



**Mount Prospect Park District
Consolidated Revenue/Expense
March 2018**

	March 2018	YTD 2018	Budget 2018	March 2017	YTD 2017
REVENUE					
10 General Fund	787,056	1,173,070	2,481,945	838,047	1,170,300
20 Recreation Fund	1,560,989	2,163,598	7,919,501	968,454	2,138,913
21 Paving and Lighting	38,190	41,228	84,398	28,645	38,536
23 Social Security Fund	238,925	260,601	512,968	204,371	274,940
24 Liability Insurance Fund	297,169	324,046	638,720	253,403	340,903
25 NWSRA Fund	304,692	328,681	675,180	229,159	308,288
26 IMRF Fund	354,177	386,340	760,253	303,260	407,975
27 Conservatory Fund	394,752	430,598	942,859	296,912	408,244
28 Internal Service Fund	90,320	90,320	350,717	37,665	145,007
30 Bond & Interest Fund	1,483,721	1,616,576	5,013,497	1,252,602	1,685,123
70 2014 Capital Project	-				
93 2013 Capital Project	-				
94 2014 Capital Project	-			1,176	8,143
95 2015 Capital Project	-				
96 2016 Capital Project	1,585	2,075		2,880	2,982
97 2017 Capital Project	-				
Total Revenue	5,551,576	6,817,133	19,380,038	4,416,574	6,929,354
EXPENSE					
10 General Fund	181,301	518,727	2,426,320	219,225	516,933
20 Recreation Fund	637,368	1,603,404	7,732,811	697,547	1,607,654
21 Paving and Lighting	1,880	1,880	84,399	5,114	7,585
23 Social Security Fund	31,444	95,369	512,968	32,678	97,771
24 Liability Insurance Fund	21,114	65,028	670,265	25,612	68,523
25 NWSRA Fund	175,540	175,540	1,382,567	338	169,387
26 IMRF Fund	59,834	114,179	800,000	116,964	174,040
27 Conservatory Fund	63,948	173,762	816,316	75,906	194,244
28 Internal Service Fund	17,887	52,400	350,717	19,849	53,523
30 Bond & Interest Fund	-	-	4,865,135		
70 2014 Capital Project	-	-		48,788	50,253
92 2012 Capital Project	-			-	
93 2013 Capital Project	-			-	
94 2014 Capital Project	-	-		2,670	2,670
95 2015 Capital Project	-	-		2,166	3,500
96 2016 Capital Project	17,178	17,519	141,797	118,608	274,392
97 2017 Capital Project	59,566	196,383	1,169,693	-	
Total Expense	1,747,131	3,014,191	20,952,988	1,365,465	3,220,475
Total Revenue	5,551,576	6,817,133	19,380,038	4,416,574	6,929,354
Total Expense	1,747,131	3,014,191	20,952,988	1,365,465	3,220,475
Net Income/Loss	3,804,445	3,802,942	(1,572,950)	3,051,109	3,708,879

**MT. PROSPECT PARK DISTRICT
PROPERTY TAX
MONTH ENDING
3/31/2018**

<u>Tax Yr.</u>	<u>Property Tax Jan. 1 - Dec. 31</u>	<u>Assessed Valuation</u>	<u>Rate</u>
2012	9,098,317	1,653,835,662	0.557
2013	8,762,986	1,413,453,067	0.657
2014	9,398,877	1,446,086,836	0.654
2015	9,580,252	1,406,791,767	0.681
2016	9,450,419	1,653,232,361	0.594

Tax Monies Received from January 1, 2018 through March 31, 2018 totals:
\$5,132,989 (of this total \$31,200 is Replacement Tax).

	Type	2017 Taxes	2018 Taxes
January	R	25,034	16,533
January		172,519	416,345
February		1,160,685	1,091,944
March	R	16,081	14,667
March		3,861,042	3,593,500
April	R	40,965	
April		40,721	
May	R	26,382	
May		41,107	
June		197	
July	R	26,977	
July		1,798,782	
August	R	1,244	
August		2,565,092	
September		10,880	
October	R	18,417	
October		39,369	
November		11,363	
December			
December	R	4,855	
TOTAL		9,861,711	5,132,989

Mt Prospect Park District
Capital Projects Update
March 2018
Fund 96 2016 Capital IMPR Fund

Account #	Description	Budget	March	Y-T-D Actual	Difference	Comments
<u>Rec Plex Center</u>						
813500	Replace Intercom System	20,000			20,000	
813620	Recplex AHU Coil Cleaning	5,500			5,500	
813625	Recplex Kids Klub Floor	11,200	450	450	10,750	
813640	Small Fitness Equipment	2,310	2,058	2,058	252	
	Total Rec Plex Center	39,010	2,508	2,508	36,502	
<u>Conservatory</u>						
822330	FPC HVAC Units	13,000			13,000	
	Total Conservatory	13,000	-	-	13,000	
<u>Park Improvements</u>						
846931	Kopp Park Playground	9,300			9,300	
846950	Majewski/ Outfield Fences	34,467			34,467	
847012	Tree Planting/Removal	6,930			6,930	
847084	Community Survey	2,890			2,890	
847096	Westbrk School Playground	3,000			3,000	
	Total Park Improvements	56,587	-	-	56,587	
<u>Equipment</u>						
858475	Bunker Rakes	12,400	12,315	12,315	85	
858485	Field Equipment Box	7,000			7,000	
	Total Equipment	19,400	12,315	12,315	7,085	
<u>Buildings</u>						
865420	WCMF Maintenance	3,000	2,354	2,695	305	
	Total Buildings	3,000	2,354	2,695	305	
<u>Pools</u>						
881651	To be Classified for 2018	10,800			10,800	
	Total Pools	10,800	-	-	10,800	
	Total Expenditure	141,797	17,177	17,519	124,278	

**Mt Prospect Park District
Capital Projects Update
March 2018
Fund 97 2017 Capital IMPR Fund**

Account #	Description	Budget	March	Y-T-D Actual	Difference	Comments
<u>Rec Plex Center</u>						
811400	RP Electronic Sign	78,000			78,000	
811913	RP Strength Equipment	8,600			8,600	
	Total Rec Plex Center	86,600	-	-	86,600	
<u>Conservatory</u>						
822000	FPC Electronic Sign	80,000			80,000	
822310	FPC Pond Fountain	6,800				
	Total Conservatory	86,800	-	-	80,000	
<u>Park Improvements</u>						
846700	Billings for Projects	350,717		90,320	260,397	
846850	Majewski Bench Replacement	2,200	2,065	2,065	135	
847012	Tree Planting/Removal	35,000			35,000	
847077	Bridge Inspections	5,000			5,000	
849150	Ice Rink Liner/Supplies	2,000			2,000	
849530	Majewski Berm Removal	5,000			5,000	
849705	Golf Cart GPS	39,000	38,916	38,916	84	
	Total Park Improvements	438,917	40,981	131,301	307,616	
<u>Equipment</u>						
855015	Lions Tables & Chairs	8,300			8,300	
855084	2005 Large Area Mower	88,000			88,000	
855090	1996 Toro Fairway Mower	59,000			59,000	
855340	Pickup Truck	28,000		27,255	745	
855371	Infield Groomer	12,400			12,400	
855440	Reg Sys Maintenance	31,500	2,000	6,000	25,500	
855402	Software/Network	9,600	800	1,600	8,000	
855440	Fuel Station Tank Gauge	13,500			13,500	
855460	Technology Equipment	12,000	813	813	11,187	
855470	Applitrack/TimePro/Smart Fusion	20,625	3,823	7,415	13,210	
855480	Sophos Security System	7,000		7,000	-	
855510	Facility Dude Maint Software	7,100			7,100	
855530	District Website	30,000	3,125	3,125	26,875	
856206	Small Maintenance Equip	3,450			3,450	
857250	Grounds Equipment/Repair	6,000			6,000	
858215	CCC Fitness /Strength Equip	10,900			10,900	
858375	Batting Cage Tunnel Nets	4,200	4,200	4,200	-	
	Total Equipment	351,575	14,762	57,408	294,167	
<u>Buildings</u>						
861545	GC HVAC Maint/Upgrades	5,000			5,000	
861580	Lions HVAC	7,500			7,500	
861591	LRC Multipurpose Floors	2,674			2,674	
861720	Security Assessment	7,500			7,500	
862002	Central Rd Gym Floor	4,020			4,020	
862150	CCC Loading Dock Door	3,850		3,850	-	
865425	Conservatory Property	50,000			50,000	
865650	CCC Roof Assessment	5,000			5,000	
865660	CCC RTU #5 and #9	97,500	3,824	3,824	93,676	
865900	CCC HVAC	7,500			7,500	
	Total Buildings	190,544	3,824	7,674	182,870	
<u>Cost of Issue</u>						
871600	Cost of Issue	7,257			7,257	
	Total Conservatory	7,257	-	-	7,257	
<u>Pools</u>						
881560	Big Surf Lounge Chairs	8,000			8,000	
	Total Pools	8,000	-	-	8,000	
	Total Expenditure	1,169,693	59,566	196,383	959,253	

ACCOUNTS PAYABLE/PAYROLL DISBURSEMENT
March-18

ACCOUNTS PAYABLE

Suggested Motion: I move to ratify March Accounts Payable Checks and EFT's in the amount of \$880,292.94 listed on the Check Register.

<u>CHECK DATE</u>			<u>CHECK #'S</u>	
3/1-3/11/2018	\$	409,616.46	190230-190320	Checks
3/12-3/18/2018	\$	156,870.18	190321-190390	Checks
3/19-3/25/2018	\$	118,117.07	190391-190435	Checks
3/26-3/31/2018	\$	195,689.23	190436-190486	Checks

TOTAL AP **\$ 880,292.94 Checks and EFT's**

PAYROLL

Suggested Motion: I move to ratify March Payroll Checks and Direct Deposits in the amount of \$304,678.76 as listed on this report.

<u>CHECK DATE</u>			<u>CHECK #'S</u>	
3/9/2018	\$	142,848.00	12320-12650	DD Notification
	\$	7,136.96	1014469714- 1014469731	Checks
			12651-12655	<i>Taxes, Transfers & Garnishments</i>
3/23/2018	\$	147,457.90	12656-12993	DD Notification
	\$	7,235.90	1014595437- 1014595454	Checks
			12994-12998	<i>Taxes, Transfers & Garnishments</i>

TOTAL P/R **\$ 304,678.76 Checks and Direct Deposits**

**Paper check numbers will not be sequential between check runs; account managed by payroll service provider.

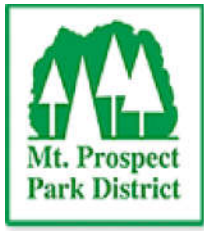
**Mt. Prospect Park District
Payroll Summary**

Pay Period Ending 3/4/2018
Check Date 3/9/2018

				Avg	Avg
	# Hours	# Employees	Gross Pay	Hrs/Emp	Hrly Rate
Total	10,630	349	206,271	30	19
	Full Time	57			

Pay Period Ending 3/18/2018
Check Date 3/23/2018

				Avg	Avg
	# Hours	# Employees	Gross Pay	Hrs/Emp	Hrly Rate
Total	11,060	356	212,254	31	19
	Full Time	58			



Executive Director Report

April 2018

Save the Date:

Park Grand Reopening Dates

Einstein Park: Saturday, June 9th at 9:00am

Kopp Park: Thursday, June 21st at 4:00pm

Financial Reporting:

GAI incorporated comments from last month's board meeting for this month. The revenue reports now indicate the direct expenses on the right side of the report making it easier to see the net for each area.

Strategic Plan:

The strategic plan document is in the home stretch and staff is preparing a draft of the document to be presented at the May Board Meeting.

Friendship Park Conservatory Sign:

Staff is currently working with the City of Des Plaines on a text amendment to the current city code regarding electronic message boards in R-1 zoned properties. Once the text amendment to the code is approved, we will need a variance in regard to the distance from the sign to the nearest residential property. Due to the length of the process, staff is not anticipating going out to bid on this project until late fall/early winter pending the outcome.

Golfweek Magazine:

Golfweek Magazine published their "Best Courses you can play in 2018" edition. The Mount Prospect Golf Club was ranked #7 in the State of Illinois, which is up 7 spots from 2017.

Upcoming Meeting Reminders:

Regular Meeting - Wednesday, May 23, 2018 - 7pm @ CCC.



Golf Operations Report

April 2018 (Through 4/15)

Golf Memberships	2016	2017	2018	Variance '17 to'18
Unlimited Play Membership Sold	66	63	53	-10
20-Play Passes Sold	93	76	78	2
Discount Cards Sold	323	291	209	-82

Golf Rounds	2016	2017	2018	Variance '16 to'17
Paid Resident Rounds	342	260	149	-111
Paid Partner Rounds	28	21	7	-14
Paid Non-Resident Rounds	998	1,003	621	-382
Annual Membership Rounds	<u>287</u>	<u>328</u>	<u>114</u>	<u>-214</u>
Total Rounds	1,655	1,612	891	-721

Golf Lessons	2016	2017	2018	Variance '17 to'18
Adult	25	26	43	17
Youth	<u>40</u>	<u>48</u>	<u>53</u>	<u>5</u>
Total	65	74	96	22

News & Updates:

- Opening was March 30th, one of the latest dates in the last twenty seasons. It's been the 2nd coldest April 1st-16th (coldest 1881) since records began in 1871! Due to this, our YTD sales revenue is down in almost every category compared to 2017.
- We are down primarily in Junior pass sales and Discount cards so far this season. We sold one more A-pass and one less Senior pass than last year.
- The golf course turf grass is in great shape despite the cold start.

- The front mound by the green on #2 has been removed. This was interfering with drainage for the front approach and quite frankly, nobody liked it. This area has been resodded and will grow in for the next few weeks.
- A cart crossing path made of paver bricks has been installed in the very long bunker dividing #13 and #14. This will allow carts to pass through without driving around into the other fairway.
- We are adding a forward tee to hole #2. This will allow us to move tees up on busier days and weekends. We hope this help with the historically slow play of our most difficult golf hole.
- All bunkers have been edged and sand has been added.
- Since September 2017, our Facebook “Likes” have increased 98%.
- We are now fully staff for the 2018 season. We hired 5 new Cashier/Cart Attendants and 4 new Starters/Rangers.

Upcoming Events:

- Family Golf Night: Family Golf Night is being held on Friday, May 11th from 5:30-8:00pm. The cost is \$5 for children ages 4 and older. Parents are free. Registration is required.



Aquatics

AQUATICS - April 2018	2015	2016	2017	2018	Variance '17 to'18
Youth Swim Lessons	1067	1082	1043	1135	92
Aqua Fit	352	380	257	237	-20
Specialty Classes	72	65	80	150	70
Programing Totals					142
					0
RecPlex Pool Daily Admission Sold	767	623	643	504	-139
Open and Lap Swim Totals					0

News:

- Variance in RecPlex Pool Daily Admissions Sold is the result of an increase in Memberships over Daily Fees and a change in how we count admissions for RecPlex pool parties.
- Shark Tails was created to accommodate the fearless 4 year olds who have mastered the skills of the Goldfish Academy. Enrollment is at 22.
- Current formatting for swim lessons allows the Aquatic Department to meet the needs of multiple family members at the same convenient time.
- Swim team families requested more time in the pool between swim seasons. The Aquatic Department was able to accommodate the request by adding a three nights a week Skills and Drills class. The current enrollment in the first session is at 21. The second session enrollment is 18. Stay Swimming is almost maxed out with 43 swimmers enrolled.
- In response to patron feedback, the expiration date for Aqua Fitness passes was extended. This encourages the purchase of the 20 class pass.
- 52 swimmers enjoyed the St Patrick's Day Shamrock Swim.
- To date, 103 more people have purchased Summer Pool Passes than last year.

Upcoming Events:

- MPPD will be hosting the Northern Illinois Summer and Winter Swim Conference administration meetings on April 11 and April 18th.
- To date, a total of 20 new staff members have been hired to work in the Aquatics Department for the summer.
- April 8 is the start of the Spring Lifeguard class.



Athletics

ATHLETICS - April 2018	2015	2016	2017	2018	Variance '17 to'18
Ice Programming	0	0	250	366	116
Youth-Gymnastics Programs	214	237	274	264	-10
Youth Athletic Programs	261	266	215	292	77
Youth Baseball & Softball	827	777	878	869	-9
Youth Soccer Leagues	464	451	430	433	3
Youth Programming Totals	1766	1731	2047	2224	177
Adult Volleyball	10	9	9	6	-3
Adult Basketball	35	29	34	27	-7
Adult Leagues Totals	45	38	43	33	-10
Athletics Total					167

News:

- Spring Hockey, Learn to Skate and Pre Hockey classes began on April 4.
- Adult Basketball & Volleyball leagues begin week of April 8.
- Spring Soccer League games delayed 1 week due to poor weather and unplayable field conditions. Will start April 15.
- Pre-K Soccer more than doubled in size from last year, from 34 to 72.

Upcoming Events

- Opening Day Youth Baseball & Softball - April 23.
- Adult softball leagues will begin in the Month of May.



Cultural Arts

CULTURAL ARTS April 2018	2015	2016	2017	2018	Variance '17 to'18
Visual	550	720	743	656	-87
Performing	985	769	742	847	105
Cultural Arts Total	1535	1489	1485	1503	18

News:

- Variance in Visual Arts from 2017 to 2018 is less Birthday parties at the Art Studio in the Month of March equating to that many participants.
- 135 children participated in the Egg Hunt Craft and colored wood bunnies.
- Spring break was a success at the Art Studio with 43 children participating in open studio over 3 days and 17 participating in 2 - ½ days in the morning- Art Start Camp.

Upcoming Events:

- Peter Pan Ballet Recital May 4 & 5 at the Al Larson Prairie Center for the Arts in Schaumburg.
- Momentum - Studio Impulse Dance Recital May 18 & 19 at Forest View Education Center in Arlington Heights.
- Pre-Ballet Recital June 9 at Forest View Education Center in Arlington Heights.
- Juliette Low School Explore More Days - Art Studio plaster craft- May 18.



Early Childhood/Youth

EARLY CHILDHOOD & YOUTH - April 2018	2015	2016	2017	2018	Variance '17 to'18
Pre-School	176	174	175	170	-5
Pre-School Registration for next school year	136	126	119	137	18
Before & After School Care	270	284	343	314	-29
Early Childhood & Youth Programming	584	647	564	645	81
Summer Camps	199	307	254	285	31
Spring Break Camp	215	228	231	190	-41
Total Early Childhood & Youth	1580	1766	1686	1741	55

News:

- Interviewing for Summer Camp Counselors
- Booking summer camp field trips - new trips added, different from last year (Ball Factory, Seafari Springs, Bloomingdale Park District The Oasis, Enchanted Castle)
- Mother/Son Dino Nite - Friday, March 3 - 50 registered participants (largest number of participants)
- KinderKlub Off School Special - Friday, March 9
- Off School Special - Tuesday, March 20 - 70 registered participants
- Easter Egg Hunt - Saturday, March 24 - 75 participants ages 3-4, 74 participants ages 5-6, 82 participants ages 7-8
- Spring Break Camp - March 26th-30th - Participants: Monday - Friday 61, Monday-26 (total 87), Tuesday-25 (total 86), Wednesday-24 (total 85), Thursday-29(total 90), Friday-25 (total 86). If we had more staff we would be able to accommodate the wait list. Also, we had more participants sign up for M-F option than in the past.
- Preparing for end of the preschool year/graduation
- Welcome new lead teacher, Rebeka Russell, for 3 year old preschool at Lions

Upcoming Events:

- KinderKlub Off School Special - Monday, April 16
- Continue summer planning - finalizing field trips, hot lunch scheduling, swim schedules, staff training schedules, enrollment, staffing
- Preschool classes will visit the Conservatory in late April/early May



Facilities

RECPLEX- April 2018	2015	2016	2017	2018	Variance '17 to'18
Daily Admissions Sold January -March					
Premier & Fitness Daily Fees	272	291	253	221	-32
Courts, Pool & Track	2,874	2085	2061	1959	-102
RecPlex Daily Admission Totals	3146	2376	2314	2180	-134
Rentals	98	116	106	116	10
Central Community Center					Variance '17 to'18
Daily Admissions Sold					
Fitness	198	190	143	142	-1
Open Gym	352	248	507	629	122
Open Skate	770	549	568	661	93
Central Community Center Daily Totals	1320	987	1218	1432	214
Rentals	150	110	95	105	10
LIONS RECREATION CENTER					Variance '17 to'18
Open Gym	0	0	0	25	25
Rentals	16	10	25	23	-2

News:

- RecPlex & CCC daily open fitness is low as patrons continue to purchase memberships.
- CCC daily open gym continues to grow as pickleball participation grows.
- CCC held Illinois Fencer Tournament Sunday, March 18.
- Renovation in the Cyber room was completed. The Cyber room was converted into 2 private rooms and will allow for increased rental opportunity.
- Concessions: Melas will begin April 14th and Meadows will begin April 28th.

Upcoming Events:

- Winter Inline League will be ending April 28.
- Frontline meetings will be held at the CCC April 16th and 17th.



Fitness

FITNESS PROGRAMS - April 2018	2015	2016	2017	2018	Variance '17 to'18
Programs	226	105	150	134	-16
Personal Training	67	78	86	73	-13
Passport Classes	442	294	417	287	-130
Fitness Program Totals	735	477	653	494	-159
Fitness Membership					
All Inclusive	0	0	66	313	246
Courts, Pool & Track - Recurring	563	506	501	620	119
Fitness - Recurring	1263	1184	1245	1041	-204
Premier Plus - Recurring	531	608	673	618	-55
Courts, Pool & Track - Variable	2400	2661	2766	3140	374
Fitness - Variable	2409	2647	2467	2429	-38
Premier Plus - Variable	592	699	633	570	-63
Fitness Membership	7758	8305	8285	8418	133
Fitness Total	8493	8782	8938	8912	-26

News:

- Fitness programs are staying steady for the beginning of 2018. Staff is continuing to looking for ways to improve the fitness program line-up.
- Evaluating the Group Exercise classes. Getting feedback from instructors on which classes run and are popular. Looking to streamline the classes so we have more consistency in our weekly schedule.
- Preparing surveys to send out to customers to gather information regarding group exercise classes and memberships.

Upcoming Events:

- Fitness Meet & Greet with Nikki Bittner is scheduled for Saturday, April 21, 2018



Friendship Park Conservatory

FRIENDSHIP PARK CONSERVATORY - April 2018	2015	2016	2017	2018	Variance '17 to'18
Program Participation	104	138	152	125	-27
Weddings	0	0	0	1	1
Corporate Rentals	2	1	3	2	-1
Miscellaneous Rentals	6	8	9	6	-3
Facility Totals					-30
Canine Commons	5	22	29	40	11

News:

- Atrium was changed over to a spring display, which included Easter lilies and spring flowering bulbs.
- Although there were 7 rentals during March, there were 5 other weekend rentals that were cancelled.
- Homeschooling at Friendship Park Conservatory, a new program offering, is underway with 4 students.
- With one plant order yet to be received, the greenhouse is pretty full. Approximately 20,000 plants have arrived year-to-date.
- Electrical in the courtyard flowerbed is being updated. New piping has been installed and new circuits were added as needed. A disconnect switch for the fountain has been relocated to the east wall for easy access. This allows the fountain to easily be turned on/off when needed (i.e. courtyard weddings, outdoor classes, etc.)

Upcoming Events:

- Earth Day Celebration will be held on April 21 at the Conservatory.
- Friendship Park Conservatory has accepted an invitation to participate in Bosch Tool Corporations Earth Fest on Wednesday, April 25.
- Many schools are scheduled for greenhouse tours in April. A \$3/student fee is charged.



Business & IT Services

WebStore Updates:

- With the latest upgrade to WebStore (online registration tool), online registration has increased significantly. Since January 1st, over 550 new household accounts have been created with the assistance of Business Services staff.
- Compared to last year, thus far in 2018 we've seen an 8.98% increase in the percentage of total Park District revenue being generated via WebStore (as opposed to in-person purchases or automated billing):
 - January 1st through April 9th - percentage of total Park District revenue:
 - 2017: 11.58%
 - 2018: 20.56%
- Business Services is working closely with Recreation to increase the number of offerings available for online registration.
- In addition to programs, IT is in the early stages of developing the capability to manage memberships through WebStore. Once complete, this will add a host of new options to patrons and allow for a more comprehensive online registration experience.

Annual Review Updates:

- The month of April is traditionally designated for FT and PT-IMRF employee evaluations, with the exception of new hires. Managers have been informed of the review schedule and will be submitting reviews to Human Resources for review. All reviews and associated increases will be evaluated for consistency and quality, as well as adherence to the Park District's approved budget. Approved increases will be in effect for the second paycheck in June.

Statement of Economic Interest Reminder:

- Statements of Economic Interest are due to Cook County by May 1st, 2018, for all required staff and commissioners. Personalized emails with login information were sent by Cook County on or around March 21st. Should you experience any difficulties or accidentally delete your emailed invitation, please contact George Giese at 847-255-5380.



Community Relations and Marketing

Marketing/Social Media/Events

- A new ad was designed for the Des Plaines 2018 Chamber Guide featuring weddings at the Conservatory. The Mt. Prospect Golf Club was nominated by the Daily Herald Readers Choice Edition for Best Public Golf Course. A quarter page ad will run in the special section in mid-May. A full page ad will run in the Journal’s popular Progress edition the week of May 10 featuring the summer program guide, Superhero 5K, pools and the Monday/Thursday concert series.
- The newly designed monthly e-newsletter features a combination of news and events. The positive analytics are broken down to the right.
- The Inside the Park Survey Edition is currently running on MPTV Channel 17 and available on youtube in its entirety. Smaller video segments have been shared on Facebook and will continue throughout the months of April and May.
- The next edition of Inside the Park is in pre-production and will feature our 31 neighborhood parks.
- There are two weeks left for patrons to purchase an Early Bird Pool Pass. A comprehensive marketing campaign supported the increased 2018 sales of 251 passes currently sold over 81 in 2017.
- Sponsor conversations are underway in reference to summer events including the Superhero 5k and the Monday/Thursday Concert Series. Outback, Petsmart, Novak & Parker, Bundt Cakes, Fannie May, Sports Clips, Northshore Health Systems and more are filling the summer schedule.
- A marketing plan is in place for the Superhero 5k held on Saturday, June 16 at Lions Park. The campaign rolls out officially on Friday, April 20th and features a redesigned race logo.
- CR & M is assisting in the planning of two community events - National Night Out with the Mount Prospect Police Department on Tuesday, August 7 and the village International Fest at RecPlex on Saturday, September 29.

Electronic Media Analytics	
E-Newsletter Results	April 6, 2018
Open Rate	30% (up from 25% in March)
Click Rate	10% (up from 6% in March)
Most Popular Newsletter Clicks	Community Survey Results Inside the Park Video Early Bird Pool Pass Information
Website (March)	
Total Visits	12,300 (up 10% from February)
Most Visited Pages	RecPlex Central Community Center Friendship Park Conservatory Youth Athletics RecPlex Pool
Facebook	
Video Views	FPC House Demo 1,633 Easter Egg Hunt Preview 1,138
Post with widest reach	FPC House Demo (2,366)

APRIL 2018

Community Relations & Marketing

Program Guide

Mt. Prospect
PARK DISTRICT Summer 2018

MAP YOUR SUMMER

mppd.org

April e-newsletter



April 2018

Community Survey Results: Parks & Programs Receive High Ranks

The results are in! Our Community Attitude and Opinion Survey is complete and we are using YOUR input to map the future of the Park District. Our "Inside the Park" program features an in-depth look at what the results mean for the district and the development of its strategic plan.

[Read More](#)



Keeping you and the environment fit...



Welcome New Fitness Manager Nikki Bittner

Saturday, April 21
10-11:30 am
RecPlex Commons
[420 W. Demaster Street](#)

Meet Nikki and our fitness team, find out what's new for summer and share your input on our fitness program.



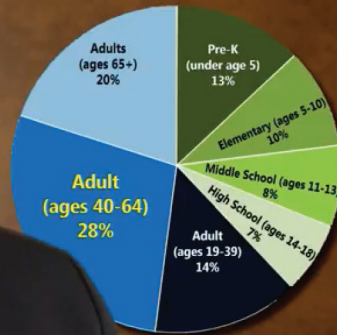
Earth Day Celebration

Saturday, April 21
1-3 pm
Friendship Park Conservatory
[395 W. Algonquin Road, Des Plaines](#)

Help take care of our planet! Free Crafts, presentations and greenhouse tours.

Inside the Park Community Survey Edition

Biggest Programming Need/"Gap" By Age Segment



Employee Recognition Facebook Post



YEARS OF SERVICE
Thank You to our
Dedicated TEAM

Nick Aiello
Grounds Department Manager
24 years

Jaime De La Torre
Athletic Fields Maintenance Crew
Leader
25 years

Roberto Taboada
Golf Course Maintenance Crew Leader
34 years

Teri Wirkus
Executive Professional/Compliance
Manager
13 years



Early Bird Summer Pool Pass Sale through May 1

[VISIT OUR WEBSITE FOR DETAILS](#)



Swing into Spring at The Mt. Prospect Golf Club

Play a round at our national award-winning course. With low square tee boxes, strategic cross bunkers and challenging plateau greens, it will test every level of player.

[Visit golfmtprospect.com](#)



Online Registration for Summer Day Camps

A summer full of games, swimming, field trips and crafts awaits! We offer full day camps for kids that have completed Kindergarten through 7th Grade.

[Camp Registration Information](#)

Get Ready to "Map Your Summer" starting April 23

Our Summer Brochure is online starting Monday, April 23 and arrives in residents' mailboxes that week! It features concert information, our 5K Race & all the classes and camps to keep everyone moving in the right direction all summer long!



Mt. Prospect Park District | 847-255-5380 | info@mppd.org



Parks & Planning Division

Administrative Updates:

- Demolition at 411 West Algonquin is complete. Restoration of turf to follow.
- 2018 Pavement Maintenance bid opening was held on April 12. The bid will not require Board approval as the low bid was \$8,900.80 which is well below the \$25,000 threshold.
- Parks and Planning staff evaluations are underway for 2018.
- The Central Community Center three replacement HVAC units have been ordered. Installation is expected to take place in Early June, 2018.
- Outdoor pool and athletic field preparations have been slow going due to the unseasonably cold weather. Staff is doing what they can as the weather allows.

Buildings Department Updates:

- Staff added safety ledge to band stand riser at the bandshell.
- Staff built three flower boxes for the Friendship Conservatory.
- Staff completed district wide preventive maintenance for our mechanical systems.
- Staff completed the renovation of Cyber rooms at Central Community Center.
- Our electrician replaced the main breaker for the MSD athletic field lighting.
- Staff Located buried utilities for ComED at the Meadows baseball fields.
- Staff replaced backflow device at FPC

Fleet Services Department Updates:

- Staff built new batting cage tunnel framework for baseball.
- Staff re-upholstered truck #22 seats and rebuilt seat foam bases.
- MPPD took delivery of the new JD 1200A infield groomer and Toro 5900 parks mower.
- Staff performed setup and check of golf carts for 2018 season usage.
- Staff replaced water pump in truck #35.
- Safety lane tests were performed on trucks # 9,10,12,14,17,22,28, and 29.
- Staff diagnosed and repaired a starting concen on Toro 5200 #1 parks mower.

Grounds Department Updates:

- Staff started setting up softball, baseball, soccer, and lacrosse fields for the 2018 season.
- Beau ice rink boards were taken down and put in storage for the season.
- Staff performed the removal of diseased ash trees at Meadows Park.
- Staff installed Lions and meadows batting tunnels for the 2018 season.
- Staff installed backstop windscreen on game fields for the 2018 season.
- Staff worked with the demolition contractor at the 411 W. Algonquin property to backfill the excavated foundation for the structure that was removed.

Internal Work Orders Completed (All Departments)

At the time of this report there have been approximately 200 internal work order requests submitted to the Parks and Planning division for completion in 2018.